

OFFICER'S REPORT FOR:

Hearings Panel

SUBJECT:

**Proposed Waimakariri District Plan: Rezoning
requests – Oxford and Settlement Zone
(Ohoka and Woodend Beach)**

PREPARED BY:

Rachel McClung

REPORT DATED:

Friday 3rd May

DATE OF HEARING:

Hearing Stream 12A: 4 -5 June 2024

Executive Summary

1. This report considers submissions received by the Waimakariri District Council (District Council) in relation to the relevant provisions of the Proposed Waimakariri District Plan (Proposed Plan) as they apply to rezoning requests for Oxford and for the Settlement Zones. The report outlines recommendations in response to the issues that have emerged from these submissions.
2. There were 12 submissions and two further submissions seeking rezoning for Oxford Township and the Settlement Zone (Ohoka). The submissions sought a range of outcomes. The following are considered to be the key issues in contention in this topic:
 - Whether General Rural Zone (GRUZ) or General Residential Zone (GRZ) is the most appropriate zoning for the following properties in Oxford:
 - 63 Harewood Road, Oxford;
 - 12, 38, 52, 54, 68, 74 and 88 Bush Road, Oxford; and
 - 34 Commercial Road, Oxford.
 - Whether Large Lot Residential Zone (LLRZ) or General Residential Zone (GRZ) is the most appropriate zoning for the following properties in Oxford:
 - 131 Main Street, Oxford;
 - The land within the LLRZ between Main Street, Commercial Road and Cheapside Street, Oxford; and
 - 197B High Street, and other smaller properties in the High Street north area, Oxford.
 - Whether Rural Lifestyle Zone (RLZ) or Settlement Zone (SETZ) is the most appropriate zoning for 351 Bradleys Road, Ohoka.
3. This report addresses each of these matters, as well as any other issues raised by submissions.
4. Having considered all the submissions and reviewed all relevant statutory and non-statutory documents, I recommend a change to the Proposed Plan to rezone 63 Harewood Road, Oxford from GRUZ to GRZ. Recommended amendments are set out in **Appendix A** of this report.
5. For the reasons set out in the Section 32AA evaluation and included throughout this report, I consider that the recommended amendments to the Proposed Plan will be the most appropriate means to:
 - achieve the purpose of the Resource Management Act 1991 (RMA) where it is necessary to revert to Part 2 and otherwise give effect to higher order planning documents, in respect to the proposed objectives; and
 - achieve the relevant objectives of the Proposed Plan, in respect to the proposed provisions.

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Interpretation

6. This report utilises a number of abbreviations for brevity as set out in **Table 1** below:

Table 1: Abbreviations

| Abbreviation | Means |
|------------------|--|
| CRPS | Operative Canterbury Regional Policy Statement |
| District Council | Waimakariri District Council / territorial authority |
| ECan | Environment Canterbury / Canterbury Regional Council |
| FDS | Future Development Strategy |
| GCSP | Greater Christchurch Spatial Plan |
| GRZ | General Residential Zone |
| GRUZ | General Rural Zone |
| HPL | Highly Productive Land |
| JWS | Joint Witness Statement |
| LLRZ | Large Lot Residential Zone |
| LUC 1, 2 and 3 | Land Use Capability classes 1, 2 and 3 |
| NPS | National Policy Statement |
| NPS-HPL | National Policy Statement for Highly Productive Land 2022 |
| NPSET | National Policy Statement on Electricity Transmission 2008 |
| NPS-UD | National Policy Statement on Urban Development 2020 |
| ODP | Outline Development Plan |
| Operative Plan | Operative Waimakariri District Plan |
| Proposed Plan | Proposed Waimakariri District Plan |
| RMA | Resource Management Act 1991 |
| SETZ | Settlement Zone |
| WDDS | Waimakariri 2048 District Development Strategy 'Our District, Our Future' July 2018 |

In addition, references to submissions includes further submissions, unless otherwise stated.

1 Introduction

1.1 Purpose

7. The purpose of this report is to provide the Hearings Panel with a summary and analysis of the submissions received seeking rezoning for Oxford and the Settlement Zone at Ohoka, and to recommend possible amendments to the Proposed Plan in response to those submissions.
8. This report is prepared under section 42A of the RMA. It considers submissions received by the District Council in relation to the relevant rules, standards, appendices and maps as they apply to Oxford and the Settlement Zone at Ohoka in the Proposed Plan. The report outlines recommendations in response to the key issues that have emerged from these submissions.
9. This report discusses general issues or topics arising, the submissions and further submissions received following notification of the Proposed Plan, makes recommendations as to whether or not those submissions should be accepted or rejected, and concludes with a recommendation for changes to the Proposed Plan provisions (including planning map).
10. The recommendations are informed by the Waimakariri 2048 District Development Strategy 'Our District, Our Future' July 2018 ('WDDS'), technical evidence provided by District Council Engineers and Greenspace expert (**Appendix C**), the Oxford Housing Capacity and Demand Assessment prepared by Mr Rodney Yeoman (**Appendix D**), and my evaluation. In preparing this report, I have had regard to recommendations made in other related s42A reports and Reply Reports.
11. This report is provided to assist the Hearings Panel in their role as Independent Commissioners. The Hearings Panel may choose to accept or reject the conclusions and recommendations of this report and may come to different conclusions and make different recommendations, based on the information and evidence provided to them by submitters.

1.2 Author

12. My name is Rachel McClung. My qualifications and experience are set out in **Appendix H** of this report.
13. My role in preparing this report is that of an expert planner.
14. I was not involved in the preparation of the Proposed Plan and did not author any of the Section 32 Evaluation Reports.
15. Although this is a District Council Hearing, I have read the Code of Conduct for Expert Witnesses contained in the 2023 Practice Note issued by the Environment Court. I have complied with that Code when preparing my written statement of evidence and I agree to comply with it when I give any oral evidence.
16. The scope of my evidence relates to submissions seeking rezoning for Oxford and Settlement Zone at Ohoka. I confirm that the issues addressed in this statement of evidence are within my area of expertise as an expert planner.
17. Any data, information, facts, and assumptions I have considered in forming my opinions are set out in the part of the evidence in which I express my opinions. Where I have set out opinions in my evidence, I have given reasons for those opinions.

18. I undertook site visits to Oxford on the afternoon of Thursday 28th March, and to Woodend Beach and Ohoka on Friday 5th April. I did not enter any properties, instead viewing sites from the road.
19. I have not omitted to consider material facts known to me that might alter or detract from the opinions expressed.

1.3 Supporting Evidence

20. The expert evidence and other material which I have used or relied upon in support of the opinions expressed in this report includes the following:
 - Engineering and Greenspace Advice (**Appendix C**);
 - Oxford Housing Capacity and Demand Assessment (**Appendix D**); and
 - The Joint Witness Statement - (Planning) - Geoff Mehrtens [175.1], 63 Harewood Road, Oxford (**Appendix E**)

1.4 Key Issues in Contention

21. A number of submissions and two further submissions were received on the provisions relating to rezoning at Oxford and the Settlement Zone at Ohoka. The submissions received sought a range of outcomes as described below.
22. I consider the following to be the key issues in contention in the topic:
 - Whether General Rural Zone (GRUZ) or General Residential Zone (GRZ) is the most appropriate zoning for the following properties at Oxford:
 - 63 Harewood Road, Oxford;
 - 12, 38, 52, 54, 68, 74 and 88 Bush Road, Oxford; and
 - 34 Commercial Road, Oxford.
 - Whether Large Lot Residential Zone (LLRZ) or General Residential Zone (GRZ) is the most appropriate zoning for the following properties at Oxford:
 - 131 Main Street, Oxford;
 - The land within the LLRZ between Main Street, Commercial Road and Cheapside Street, Oxford; and
 - 197B High Street, and other smaller properties within the north side of High Street, Oxford.
 - Whether Rural Lifestyle Zone (RLZ) or Settlement Zone (SETZ) is the most appropriate zoning for 351 Bradleys Road, Ohoka.
23. I address each of these key issues in this report, as well as any other issues raised by submissions.

1.5 Procedural Matters

24. There has been expert witness conferencing with respect to Geoff Mehrtens [175.1] and with respect to 'Urban Environment'. I have taken into account the following Joint Witness Statement (JWS) when preparing this report:

- Joint Witness Statement (Planning) – Geoff Mehrtens [175.1], 63 Harewood Road, Oxford, date 3 April 2024 (**Appendix E**).
- Joint Witness Statement (Planning) – Urban Environment, Day 1, date 26 March 2024¹

¹ https://www.waimakariri.govt.nz/_data/assets/pdf_file/0029/161669/STREAM-12-URBAN-ENVIRONMENT-DAY-1-JWS.pdf

2 Statutory Considerations

2.1 Resource Management Act 1991

25. The Proposed Plan has been prepared in accordance with the RMA and in particular, the requirements of:
- section 74 Matters to be considered by territorial authority; and
 - section 75 Contents of district plans.
26. There are a number of higher order planning documents and strategic plans that provide direction and guidance for the preparation and content of the Proposed Plan, such as National Policy Statements (NPS) and the Canterbury Regional Policy Statement (CRPS). These documents are discussed in detail within the Section 32 Evaluation Reports for Residential² and Rural³, and assessment against the relevant provisions is included in the below assessment. I note that the NPS-HPL was gazetted after the publication of these reports.
27. Where the relief sought by a submission fails to meet a section 74 or section 75 'test', I have ceased my assessment at that point, and not continued to assess it against the lower order requirements.

2.2 Section 32AA

28. I have undertaken an evaluation of the recommended changes to provisions since the initial section 32 evaluation was undertaken in accordance with s32AA of the RMA. Section 32AA states:

32AA Requirements for undertaking and publishing further evaluations

(1) A further evaluation required under this Act—

(a) is required only for any changes that have been made to, or are proposed for, the proposal since the evaluation report for the proposal was completed (the changes); and

(b) must be undertaken in accordance with section 32(1) to (4); and

(c) must, despite paragraph (b) and section 32(1)(c), be undertaken at a level of detail that corresponds to the scale and significance of the changes; and

(d) must—

(i) be published in an evaluation report that is made available for public inspection at the same time as the approved proposal (in the case of a national policy statement or a New Zealand coastal policy statement or a national planning standard), or the decision on the proposal, is notified; or

² https://www.waimakariri.govt.nz/_data/assets/pdf_file/0019/136108/23.-RESIDENTIAL-S32-REPORT-DPR-2021..pdf

³ https://www.waimakariri.govt.nz/_data/assets/pdf_file/0020/136109/24.-RURAL-S32-REPORT-DPR-2021..pdf

(ii) be referred to in the decision-making record in sufficient detail to demonstrate that the further evaluation was undertaken in accordance with this section.

(2) To avoid doubt, an evaluation report does not have to be prepared if a further evaluation is undertaken in accordance with subsection (1)(d)(ii).

29. The required section 32AA evaluation for changes recommended is considered and undertaken within the Joint Witness Statement (JWS) (**Appendix E**) as required by s32AA(1)(d)(ii).

2.3 Trade Competition

30. There are no known trade competition issues raised within the submissions.

3 Consideration of Submissions and Further Submissions

3.1 Overview

31. This report addresses 12 submissions and two further submissions relating to residential rezoning within Oxford and the Settlement Zone at Ohoka.

3.1.1 Report Structure

32. Submissions on rezoning within Oxford and the Settlement Zone at Ohoka raised a number of issues which have been grouped into sub-topics within this report. There are three submissions that support retention of the SETZ at Woodend Beach that I have only addressed within **Appendix B**. I have considered substantive commentary on submissions contained in further submissions as part of my consideration of the submission(s) to which they relate.
33. In accordance with Clause 10(3) of Schedule 1 of the RMA, I have undertaken the following evaluation on in accordance with the rezoning sought, as opposed to a submission by submission approach.
34. Recommendations on each submission and further submission are contained in **Appendix B**.
35. The following evaluation should be read in conjunction with the summaries of submissions and the submissions themselves. Where I agree with the relief sought and the rationale for that relief, I have noted my agreement, and my recommendation is provided in **Appendix B** only. Where I have undertaken further evaluation of the relief sought in a submission, the evaluation and recommendations are set out in the body of this report. I have provided a marked-up version of the relevant Proposed Plan provisions with recommended amendments in response to submissions in **Appendix A**.
36. This report does not address any definitions within the Proposed Plan.

3.1.2 Format for Consideration of Submissions

37. For each identified topic, I have considered the submissions that are seeking changes to the Proposed Plan in the following format:
- Matters raised by submitters;
 - Engineering and Greenspace advice (where relevant);
 - Assessment; and
 - Summary of recommendations.
38. The recommended amendments to the relevant provisions are set out in **Appendix A** where all text changes are shown in a consolidated manner.
39. The s32AA evaluation is considered and assessed within the JWS (**Appendix B**).

3.2 General context – Oxford overview

40. Oxford is located at the inland edge of the Canterbury Plains near the foothills, approximately 30km west of Rangiora (refer **Figure 1** below). It is the largest town in the west of the District, and the 4th largest town in the District. In 2023⁴ its population was 2,380.
41. The town of Oxford began as a sawmilling town in Colonial times and originally comprised two adjacent settlements of East Oxford and West Oxford. The town is centred around Main Street (State Highway 72) which runs in an east-west direction. Secondary streets lead off the Main Street both to the north and to the south.
42. The town centre is located on Main Street – Oxford's commercial retail and service centre. The town centre includes a supermarket, cafes, restaurants, takeaways, pubs, motels, shops, medical services, motor vehicle servicing and petrol station. The Oxford town centre services largely the immediately surrounding urban and rural Oxford area.
43. Oxford has a number of community facilities and open spaces. A major feature of the town is Prestons Park on the north side of the town with an with extensive cricket, rugby and soccer facilities, swimming pool and gymnasium, tennis courts and playgrounds. Community facilities also include the Oxford Town Hall, the Oxford Library and Service Centre, the Museum and meeting space at the Oxford Jaycee Rooms, and the Oxford Art Gallery.
44. Oxford Area School is located just north of the town centre on Bay Road and educates students from Year 1-13. The Oxford Area School Observatory is also located on Bay Road. The Observatory is accessible to the community through Open Nights and Matariki Mornings, private and group events, and workshops.
45. State Highway 72 goes through Oxford, taking travellers across the Waimakariri Gorge to and from the Selwyn District, the West Coast and ski fields.



Figure 1: Location of Oxford within the Waimakariri District – Source: Proposed Plan maps

⁴ Appendix D - Oxford Housing and Capacity Assessment, page 1

3.2.1 National Policy Statement on Urban Development 2020 (NPS-UD) and Greater Christchurch Spatial Plan (GCSP)

46. The NPS-UD requires every tier 1 local authority to prepare a Future Development Strategy (FDS) for their tier 1 Urban Environment. The Greater Christchurch Spatial Plan is the NPS-UD FDS for the District and its boundaries constitute the extent of the 'urban environment'. While Oxford is an urban town, it is located outside the Greater Christchurch tier 1 'Urban Environment' and thus is not subject to provisions of the GCSP. However, the Waimakariri District Development Strategy is applicable to Oxford.
47. While the FDS is a key implementation method for the NPS-UD and Oxford is not subject to this District's FDS (being the GCSP), I have given consideration to the objectives and policies of the NPS-UD (where relevant) in my assessment.

3.2.2 Land Use Capability (LUC) Classification 1, 2 and 3 (LUC 1, 2 and 3) soils across Oxford and National Policy Statement for Highly Productive Land (NPS-HPL)

48. **Figure 2** below shows LUC 1, 2 and 3 soils across Oxford. This is of relevance as there are restrictions on urban rezoning of highly productive land within the NPS-HPL. These restrictions are assessed for each rezoning request below.

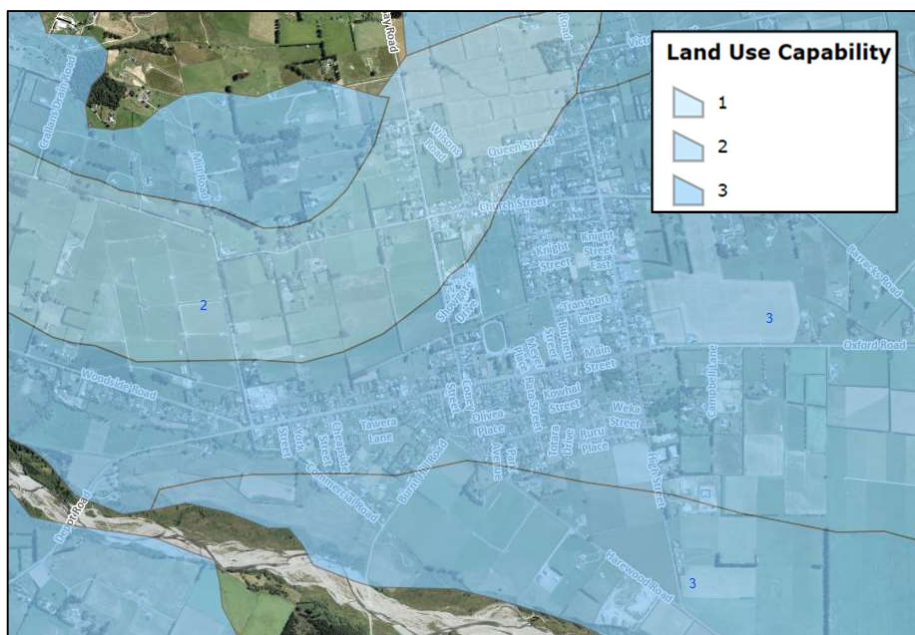


Figure 2 – LUC 1, 2 and 3 soils (shown as blue) across Oxford – Source: WAIMAP

3.2.3 Waimakariri 2048 District Development Strategy – 'Our District, Our Future' July 2018 (WDDS)

49. The WDDS is a strategic planning document that was prepared under the Local Government Act 2002. It provides an overview of Waimakariri District development to 2048. The strategy outlines broad directions for growth for the main towns, with further analysis required to determine exact growth areas. It is not a FDS in terms of the NPS-UD but does align with the

provisions of the NPS-UD and informed both 'Our Space 2018-2048: Greater Christchurch Settlement Pattern Update Whakahāngai O Te Hōrapa Nohoanga'⁵ and then the GCSP.

50. The WDDS states that demand for new households in Oxford is to be met in part by developing existing vacant land and / or intensifying the density in existing zoned areas, particularly rural-residential areas. The WDDS shows future residential long-term growth directions proposed to the southeast and east of Oxford. This can be seen in **Figure 3** below.



Figure 3: WDDS Oxford growth directions

⁵ <https://greaterchristchurch.org.nz/assets/Documents/greaterchristchurch/Our-Space-final/Our-Space-2018-2048-WEB-FINAL.pdf>

3.2.4 Capacity and Demand at Oxford

51. A memorandum from Mr Rodney Yeoman on the housing capacity and demand at Oxford is enclosed at **Appendix E**. It concludes that there is sufficient capacity in Oxford to meet expected demands, both in the short to medium term and long term. However, Mr Yeoman advises that it would be prudent to consider providing additional capacity for 40 dwellings in greenfield large scale development (as opposed to infill development), either via new urban land being provided for by rezoning some GRUZ land to GRZ, or by upzoning parts of the LLRZ to GRZ. This would mean that all of the demand in the short-medium term could be accommodated in greenfield large developments, and only a small share of infill would be needed.
52. It is Mr Yeoman's view that this additional provision of capacity would not have a material impact on the outcomes in the rest of the District, but it would ensure that there is ample opportunity for different types of development within Oxford.
53. Mr Yeoman also notes that his assessment applies NPS-UD requirements, which are more onerous than would normally be required for a settlement outside the Urban Environment.

3.2.5 Canterbury Regional Policy Statement (CRPS)

54. I consider Chapter 5 (Land Use and Infrastructure) and Chapter 11 (Natural Hazards) of the CRPS are the most relevant chapters for consideration for these requests. Chapter 5 provides direction for land use and infrastructure across all of the Canterbury region and Chapter 11 provides direction for managing natural hazard risk in Canterbury.

3.3 Oxford Rezoning Submissions – General Rural Zone (GRUZ) to General Residential Zone (GRZ)

3.3.1 Matters raised by submitters

55. Five submissions seek to rezone land at Oxford from GRUZ to GRZ. They are:
 - Geoff Mehrtens [175.1] seek to rezone 63 Harewood Road, Oxford from GRUZ to GRZ;
 - The Oxford-Ohoka Community Board (The Board) [172.2 and 172.3] seek additional residential zoning on the 'outskirts' of Oxford to prevent infill residential development within the town;
 - James Weir [161.1] seeks to rezone 12 to 74 Bush Road, Oxford (even numbers) from GRUZ to GRZ; and
 - Patrick Campbell and Elvere Mooney [365.1] seek to rezone 34 Commercial Road from GRUZ to GRZ.
56. No further submissions were received on Geoff Mehrtens [175.1] or Patrick Campbell and Elvere Mooney [365.1].
57. A further submission from Claudia & Geoff Mehrtens [FS24] supports The Board [172.2 and 172.3] in part.
58. A further submission was received from Rolleston Industrial Developments Limited, Carter Group Property Limited, and CSI Property Limited [FS82] in support of James Weir [161.1].

Geoff Mehrtens [175.1] - 63 Harewood Road, Oxford

59. The submission of Geoff Mehrtens [175.1] states that it is made on the grounds that the site has been identified in the WDDS as an area for future residential development, as further greenfield residential land is required in Oxford to accommodate the predicted residential growth in the area and within the wider District. The rezoning submission is to give effect to the strategic growth direction given by the WDDS.
60. The submission states that the subject site is approximately 3.5 hectares, and the proposed residential zoning would feasibly achieve approximately 48 residential sections. As part of the submission an Outline Development Plan (ODP) has been prepared for the site and is shown in **Figure 4** below.



Figure 4 – Proposed ODP for GRZ rezoning at 63 Harewood Road, Oxford

61. The submission is supported by technical reports including:
- Infrastructure Servicing Report;
 - Preliminary Site Investigation;
 - Natural Hazards Risk Assessment; and
 - Section 32AA Planning Assessment.
62. No changes are proposed to the Proposed Plan objectives, policies, and rules, other than for the Planning Map to be amended to show the site as GRZ and to include a new ODP and supporting text.
63. A JWS between myself and Ms Claire McKeever (Planner representing Geoff Mehrtens [175.1]) has been prepared and is enclosed at **Appendix E**.

Oxford-Ohoka Community Board ('The Board') [172.2 and 172.3] – Outskirts of Oxford

64. This submission states that The Board are concerned about the proposed reduction in section sizes in Oxford. They believe that infill housing has already detrimentally impacted the 'rural' character of the town by creating less desirable property sizes that undermine the natural beauty of the area and ultimately devalue the area.
65. Instead of infill housing in Oxford, The Board would prefer the rural land on the outskirts of Oxford to be rezoned to allow for more residential development. It is their concern that while some land has been allocated to develop larger residential lots, provision has not been made for general residential growth that may require smaller sections.
66. The Board [172.2 and 172.3] do not specify locations or a particular zone. They do not provide the changes they seek to the Proposed Plan.
67. Claudia & Geoff Mehrtens [FS24] further submitted in support of The Board [172.2] in so far as it supported their submission [175.1] requested rezoning at 63 Harewood Road from GRUZ to GRZ. They consider this would be supportive of The Board's submission as it would be in keeping with the local character and existing amenity of the surrounding Oxford area.

James Weir [161.1] seeks to rezone 12, 38, 52, 54, 68, 74 and 88 Bush Road, Oxford

68. The submission opposes the GRUZ zoning of 12, 38, 52, 54, 68, 74 and 88 Bush Road and seeks a residential rezoning. The area described by James Weir [161.1] for which he seeks rezoning is shown in **Figure 5** below.

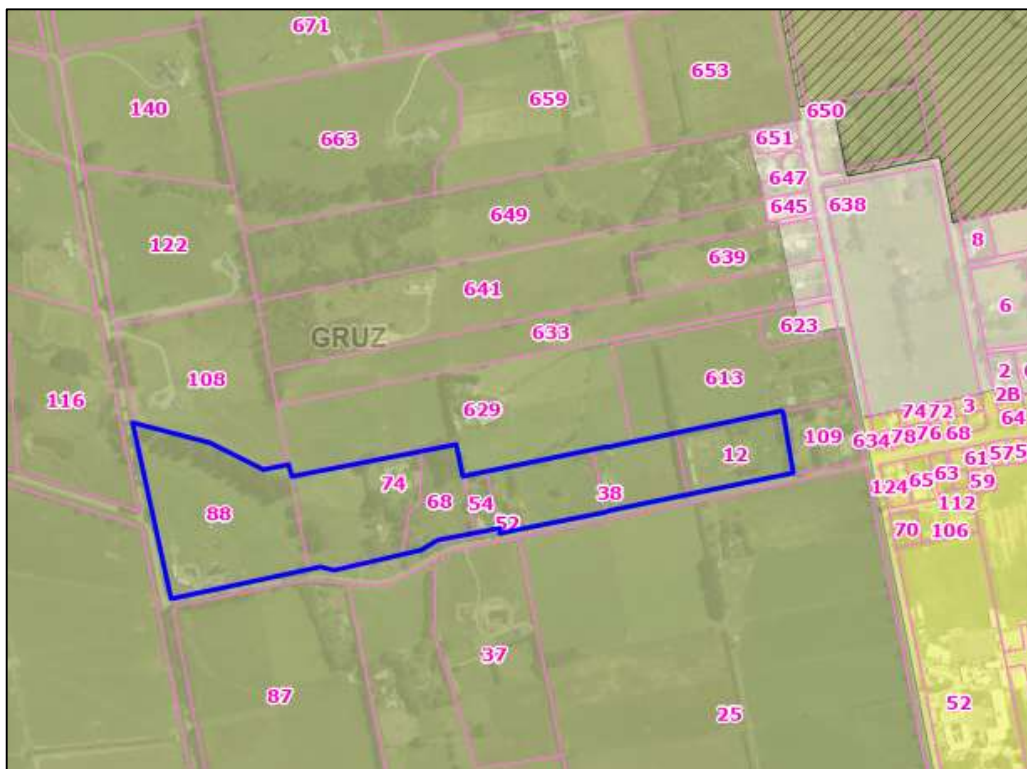


Figure 5 – 12, 38, 52, 54, 68, 74 and 88 Bush Road, Oxford (James Weir [161.1]) – Source: WAIMAP

69. The submission does not state a particular residential zoning or the density of the zone they seek. However, it does state that rural zones are for farming activity and between 12 and 74

Bush Road there are several 2 hectare or less sites, and that the speed limit is notified to be reduced to 60kph and thus the area will have residential characteristics. He states the location is close to the school and observatory, and infrastructure is in place. The submission appears to be seeking a zoning more akin to the existing allotment sizes (see below). **Table 2** below shows the sizes of the properties subject to this submission.

| Table 2: Sizes of properties subject to James Weir [161.1] | |
|---|---------------------------------|
| Address | Size |
| 12 Bush Road | 1.381 ha |
| 38 Bush Road | 0.2023 ha (2023m ²) |
| 52 Bush Road | 0.3086 ha (3086m ²) |
| 54 Bush Road | 0.2931 ha (2931m ²) |
| 68 Bush Road | 1.0249 ha |
| 74 Bush Road | 0.4305 ha (4305m ²) |
| 88 Bush Road | 4 ha |
| Total | 7.404ha |

70. Rolleston Industrial Developments Limited, Carter Group Property Limited, and CSI Property Limited [FS82] supported James Weir [161.1], stating that they consider this rezoning request appropriate for the context and location.
71. The submission is not supported by technical reports provided by the submitter.
72. No specific changes to the Proposed Plan provisions were sought by the submission aside from the rezoning.

Patrick Campbell and Elvere Mooney [365.1]

73. This submission seeks the rezoning of 34 Commercial Road, Oxford from GRUZ to GRZ and the subject site is approximately 2.34 hectares.
74. The submission also seeks to rezone 6 York Street (being approximately 6771m²), Oxford from LLRZ to GRZ, as well as the wider LLRZ area between Commercial Road, and Cheapside Street (being approximately 4.65 hectares – including the roads).
75. The land subject to this submission is shown in **Figure 6** below. However, the LLRZ to GRZ rezoning aspects of the submission are assessed in Section 3.4.3 of this report.
76. The submission is not supported by any technical reports provided by the submitter.
77. No specific changes to the Proposed Plan provisions are provided within the submission.
78. There were no further submissions received on Patrick Campbell and Elvere Mooney [365.1].

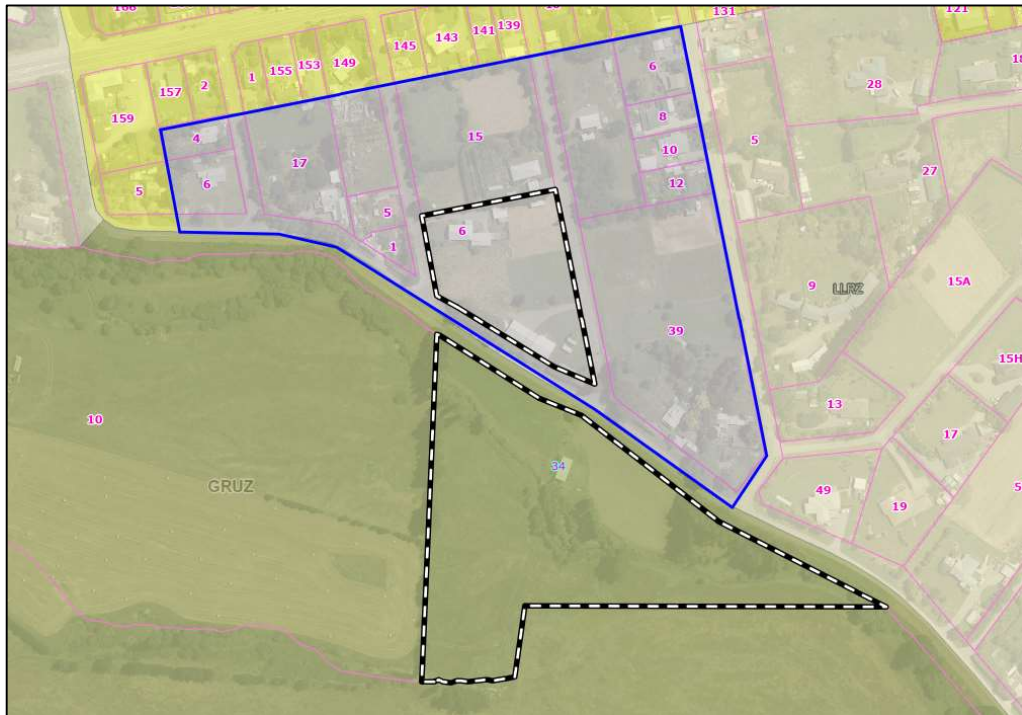


Figure 6: 6 York Street and 34 Commercial Road, Oxford and the portion of the LLRZ subject of the submission (Patrick Campbell and Elvere Mooney [365.1]) – Source: WAIMAP

3.3.2 Assessment

Geoff Mehrtens [175.1]

79. A JWS between myself and Ms Claire McKeever (Planner representing Geoff Mehrtens [175.1]) has been prepared. Please refer to the JWS (**Appendix E**) for our assessment.

80. Key matters addressed in the JWS include:

- a. the NPS-HPL;
- b. the objectives and policies of the Proposed Plan;
- c. consideration of Council's Engineering and Greenspace Advice; and
- d. the proposed area's specific matters for insertion in the Proposed Plan.

81. We agreed on all matters. There were no matters of disagreement.

Overall conclusion

82. It is the joint opinion of both Ms McKeever and I that the overall conclusions⁶ of the s32AA provided with the original submission remains the same. We conclude the GRZ is the most appropriate zone for this site for the reasons set out in the JWS. My position has not changed since preparing the JWS with Ms McKeever. The rezoning is consistent with the Waimakariri District Development Strategy, CRPS and relevant objectives and policies of the Proposed District Plan. Additional residential housing capacity of the type and scale provided for by

⁶ Section 10 of the Section 32AA Planning Assessment provided with the submission

rezoning this land is required at Oxford to meet projects short to medium demands. I recommend that 63 Harewood Road, Oxford is rezoned from GRUZ to GRZ and that Geoff Mehrstens [175.1] be **accepted**.

83. I recommend amending the planning map to show 63 Harewood Road, Oxford as GRZ and including a new ODP and supporting text in the Development Areas chapter. My recommended amendments to the Proposed Plan are within **Appendix A** to this report. For clarification, they are identical to the recommended changes within Appendix B to the JWS.

James Weir [161.1] and Patrick Campbell and Elvere Mooney [365.1]

National Policy Statement for Highly Productive Land 2022 (NPS-HPL)

84. An assessment of the NPS-HPL was not provided with either submission. Pursuant to section 3.6 of the NPS-HPL, there are restrictions on urban rezoning⁷ of highly productive land (HPL). Firstly, it needs to be determined if the subject site is HPL as described by the NPS-HPL, and then secondly, if the tests of Section 3.6 can be met to allow urban rezoning.
85. **Figure 7** below identifies the land subject to James Weir [161.1] (predominantly LUC 2) and **Figure 8** identifies the land subject to Patrick Campbell and Elvere Mooney [365.1] (predominantly LUC 3)].

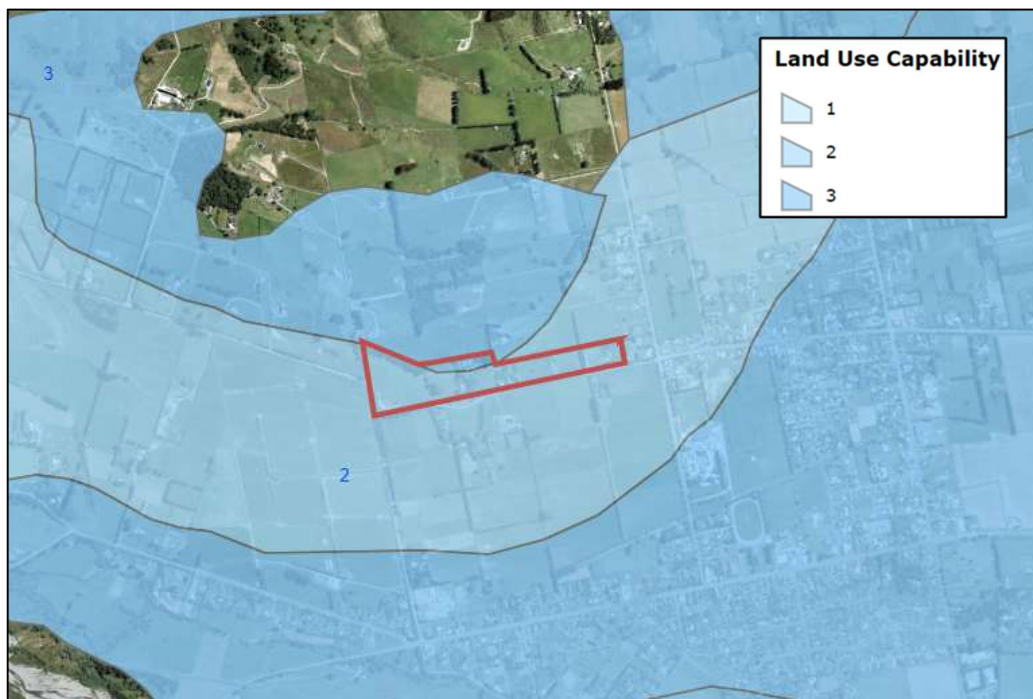


Figure 7: LUC 1, 2 and 3 - 12, 38, 52, 54, 68, 74 and 88 Bush Road, Oxford (James Weir [161.1]) – Source WAIMAP

⁷ NPS-HPL, Section 1.3 Interpretation - urban rezoning means changing from a general rural or rural production zone to an urban zone.

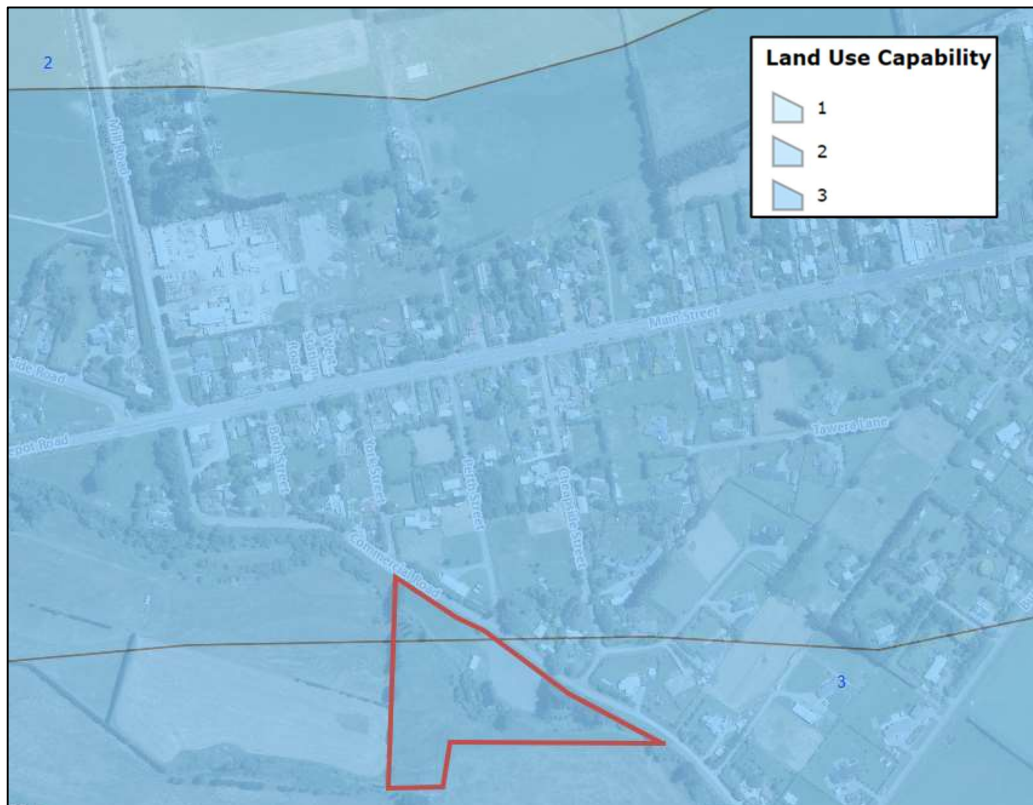


Figure 8: LUC 1, 2 and 3 – 34 Commercial Road, Oxford (Patrick Campbell and Elvere Mooney [365.1]) – Source WAIMAP

86. Section 3.5(7) sets out how to identify HPL. Both of the subject sites are zoned Rural in the Operative Waimakariri District Plan (Operative Plan) and GRUZ in the Proposed Plan and contain a combination of LUC 2 and 3 soils, meeting Clause 3.5(7)(a)(i) and (ii) of the NPS-HPL. The land is not identified for future urban development by the WDDS and is not subject to Council initiated rezoning as described in 3.5(7)(b)(i) and (b)(ii) respectively, and therefore they do not meet that exclusion test. Therefore, the sites are HPL and are subject to the NPS-HPL Section 3.6 restrictions on urban rezoning.
87. These rezoning requests are not required to provide sufficient capacity to meet demand for housing or business land to give effect to the NPS-UD (as per Clause 3.6(1)(a)). There are other reasonably practicable and feasible options for providing development capacity within Oxford (such as the rezoning proposed by Geoff Mehrstens [175.1] at 63 Harewood Road, Oxford) (as per Clause 3.6(1)(b)). No assessment of the benefits and costs has been provided (as per Clause 3.6(1)(c)) and given clauses 3.6(1)(a) and (b) have not been met, I did not undertake the evaluation for either submission.
88. Policy 5 of the NPS-HPL requires the urban rezoning of HPL is avoided, except as provided in the NPS-HPL. As assessed above, both James Weir [161.1] and Patrick Campbell and Elvere Mooney [365.1] do not meet the test within the NPS-HPL and therefore accepting these submissions would not be giving effect to the NPS-HPL.
89. In addition, neither of these areas are identified within the WDDS as future growth directions. The land at Bush Road (James Weir [161.1]) would be segregated from the existing town form and surrounded by existing rural uses, which could lead to reverse sensitivity impacts on the rural uses.

90. I therefore recommend no change to the Proposed Plan and that James Weir [161.1] be **rejected** and Patrick Campbell and Elvere Mooney [365.1] be **rejected** with respect to the rezoning they seek for 34 Commercial Road, Oxford.

3.3.3 Summary of recommendations

91. I recommend the submissions from Geoff Mehrtens [175.1] be **accepted**.
92. I recommend the submission from Oxford-Ohoka Community Board [172.2 and 172.3] be **accepted in part**.
93. I recommend the submission from James Weir [161.1] be **rejected**.
94. I recommend the submission from Patrick Campbell and Elvere Mooney [365.1] be **rejected** with respect to the rezoning they seek for 34 Commercial Road.
95. I recommend the further submission of Claudia & Geoff Mehrtens [FS24] be **accepted**.
96. I recommend the further submission of Rolleston Industrial Developments Limited, Carter Group Property Limited, and CSI Property Limited [FS82] be **rejected**.
97. I recommend changes be made to the Proposed Plan to rezone 63 Harewood Road, Oxford from GRUZ to GRZ as set out in **Appendix A**.

3.4 Oxford Rezoning Submissions – Large Lot Residential Zone (LLRZ) to General Residential Zone (GRZ)

3.4.1 Matters raised by submitters

98. Five submissions seek to rezone land at Oxford from LLRZ to GRZ. They are:
- Waghorn Builders Limited [274.1] seek to rezone 131 Main Street, Oxford from LLRZ to GRZ (noting that the site has a split zoning in the Proposed Plan of both GRZ and LLRZ).
 - Dennis Powell [355.1] seeks to rezone the large sections between Main Street, Commercial Road and Cheapside Street, Oxford from LLRZ to GRZ.
 - Patrick Campbell and Elvere Mooney [365.1] seek to rezone 6 York Street, Oxford and Lot 1 from 34 Commercial Road, and all properties in the triangle between Commercial Road and Cheapside Street, and including Bath Street, York Street, Perth Street and Cheapside Street, from LLRZ to GRZ.
 - Patrick Campbell and Elvere Mooney [366.1] seek to rezone 15 Perth Street, Oxford and all properties in the triangle between Commercial Road and Cheapside Street, and including Bath Street, York Street, Perth Street and Cheapside Street, from LLRZ to GRZ.
 - George Welch [93.1] seeks to extend the GRZ to the north along High Street, Oxford to include 197B High Street, and other unspecified 'smaller properties'.
99. No further submissions were received on these submissions.
100. I have assessed the submission from Waghorn Builders Limited separately as although it adjoins the land sought to be rezoned by other Dennis Powell and Patrick Campbell and Elvere Mooney, it has its own specific considerations.

101. I have considered the submissions from Dennis Powell and Patrick Campbell and Elvere Mooney, as together, they relate to a connected single area of land.
102. I have considered the submission from George Welch separately as it relates to a property distant from the other submitters properties.

Waghorn Builders Limited [274.1] - 131 Main Street, Oxford

103. 131 Main Street (2363m²) is currently held in one title and located on the southern side of Main Street, at the western end of Oxford and is shown in **Figure 9** below.

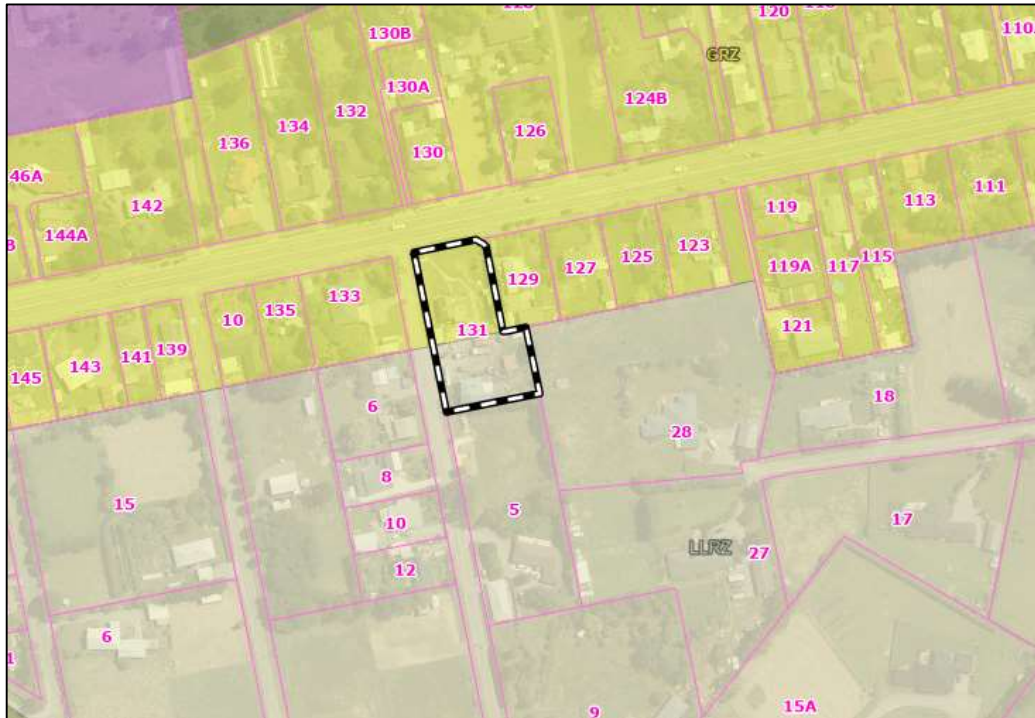


Figure 9: 131 Main Street, Oxford (Waghorn Builders Limited [274.1]) – Source: WAIMAP

104. The property is currently zoned Residential 2 and Residential 4A under the Operative Plan. The Waghorn Builders Limited [274.1] submission states that the reason for the submission is that the Proposed Plan continues the split zone scenario for the site, being GRZ (1210m²) and LLRZ (1153m²). It considers the split zoning is merely a continuation of the alignment of the adjoining property boundaries and follows no physical feature.
105. It points out the minimum allotment size required by SUB-S1 in the Proposed Plan are 500m² for GRZ, and 2500m² with an average of 5000m² for LLRZ; and given around 1210m² of the site is zoned GRZ, the remaining LLRZ area does not meet the minimum allotment size from the outset.
106. Waghorn Builders Limited [274.1] is of the view that there is no valid environmental, social or economic reason for retaining the split zoning on the property and that the GRZ will represent a more efficient and sustainable use of the land than the notified split zoning.
107. The submission is not supported by technical reports provided by the submitter.
108. Specific changes sought by the submission are that the zoning on the Planning Map be amended to GRZ. No changes to objectives, policies or other provisions are sought.

109. I note that since the submission was lodged, a resource consent for a three-allotment subdivision and associated land use consent for the relocation of two houses onto two of the proposed new allotments has been granted (RC225255/RC225256). A copy of the Decision Letter and Approved Plans are attached at **Appendix F**.

Dennis Powell [355.1] - large sections between Main Street, Commercial Road and Cheapside Street

110. Dennis Powell is an owner of 39 Commercial Road, Oxford (being approximately 1.1921 hectares). The area described by Dennis Powell [355.1] for which he seeks rezoning (including 39 Commercial Road is shown by the blue area in **Figure 10** below and is approximately 4.65 hectares in total – including the roads and 39 Commercial Road.
111. The submission is not supported by any technical reports provided by the submitter.
112. No specific changes to the Proposed Plan provisions are provided within the submission.

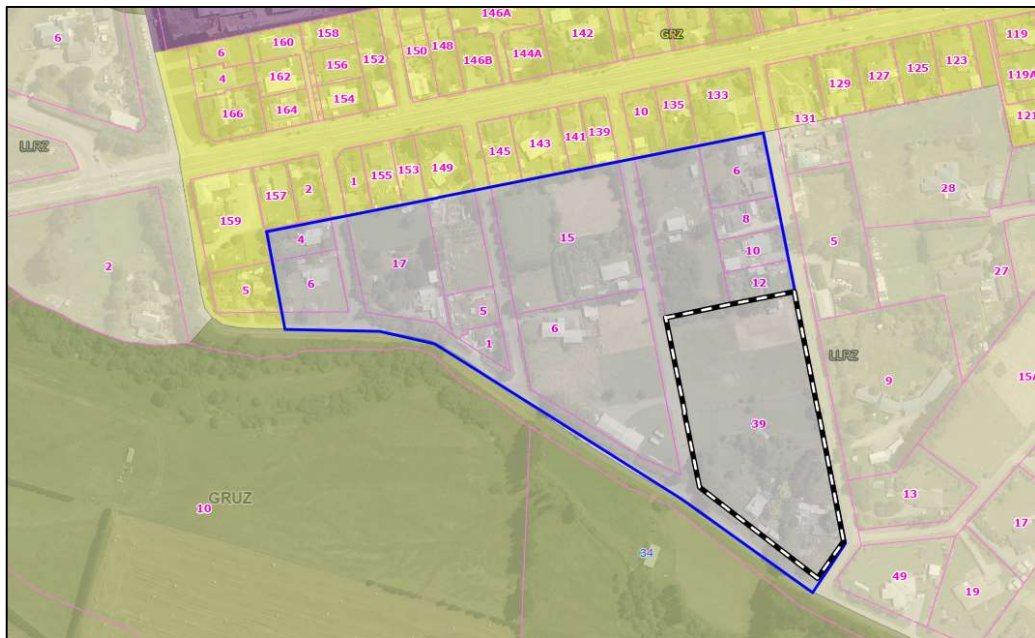


Figure 10: 39 Commercial Road, Oxford and the portion of LLRZ subject to the submission (Dennis Powell [355.1]) – Source: WAIMAP

Patrick Campbell and Elvere Mooney [365.1] – 6 York Street and 34 Commercial Road

113. As previously mentioned in Section 3.3.1 above, Patrick Campbell and Elvere Mooney are the owners of 6 York Street (approximately 6,762m²) and 34 Commercial Road (approximately 2.34 hectares), Oxford. The area described within their submission for which they seek rezoning (including 6 York Street and 34 Commercial Road) is shown in **Figure 11** below and is approximately 4.65 hectares – including the roads and 6 York Street. The rezoning request for 34 Commercial Road was assessed in Section 3.3.2 above. The assessment below related to the remainder of the subject area for which urban rezoning from LLRZ to GRZ is sought.
114. The submission is not supported by any technical reports provided by the submitter.
115. No specific changes to the Proposed Plan provisions are provided within the submission.
116. No further submissions were received.

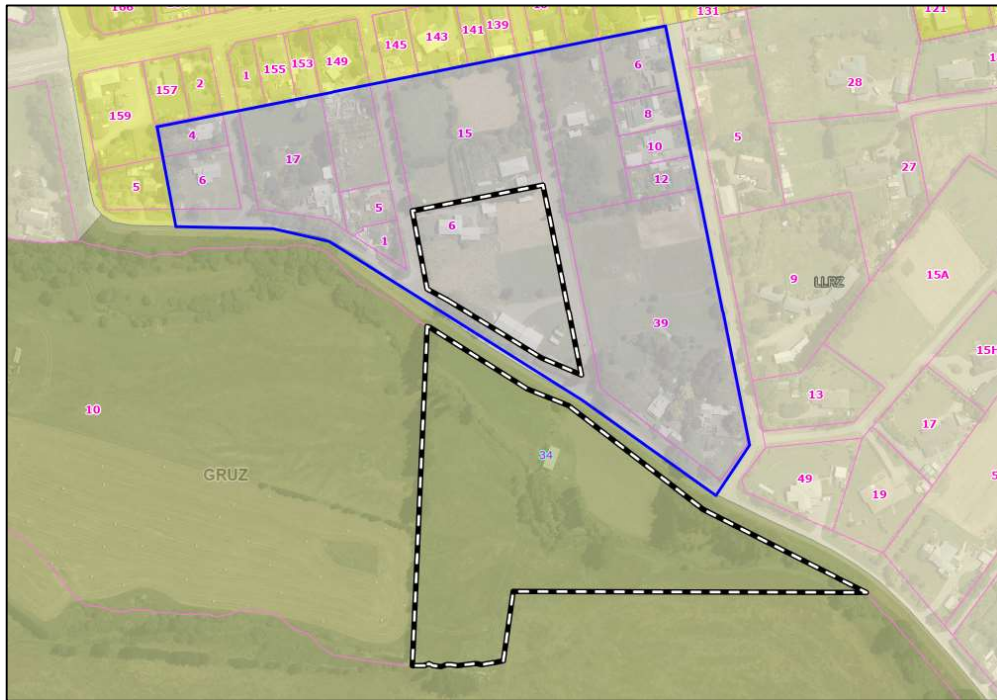


Figure 11: 6 York Street and 34 Commercial Road, Oxford and the portion (shown in blue) of the LLRZ subject of the submission (Patrick Campbell and Elvere Mooney [365.1]) – Source: WAIMAP

Patrick Campbell and Elvere Mooney [366.1] – 15 Perth Street, Oxford

117. Patrick Campbell and Elvere Mooney are the owners of 15 Perth Street (approximately 6,493m²), Oxford. The area described within their submission for which they seek rezoning (including 15 Perth Street) is shown in **Figure 12** below and is approximately 4.65 hectares in total – including the roads and 15 Perth Street.



Figure 12: 15 Perth Street, Oxford and the portion of LLRZ subject to the submission – Source: WAIMAP

118. The submission is not supported by any technical reports.
119. No specific changes to the Proposed Plan provisions are provided within the submission.
120. No further submissions were received.

George Welch [93.1] – 197B High Street, Oxford and smaller lots in the High Street north area

121. George Welch [93.1] seeks the GRZ to extended north to include the smaller properties immediately adjoined to the GRZ along High Street, in particular this is sought for 197B High Street. No other properties are specifically listed. 197B High Street can be seen in **Figure 13** below and is approximately 1,700m².
122. George Welch [93.1] is of the view that 197B High Street is not large enough to be considered “part rural” as per its current zoning. He states that this property is approximately 1600m² and the neighbouring properties on either side of High Street in the immediate vicinity are of a similar size. Furthermore, he adds that these properties are connected to Oxford's town water supply, town sewer, town rubbish, waste and recycling collection and are considered to be part of the township.
123. The submission is not supported by any technical reports provided by the submitter.
124. No specific changes to the Proposed Plan provisions are sought within the submission.
125. No further submissions were received.

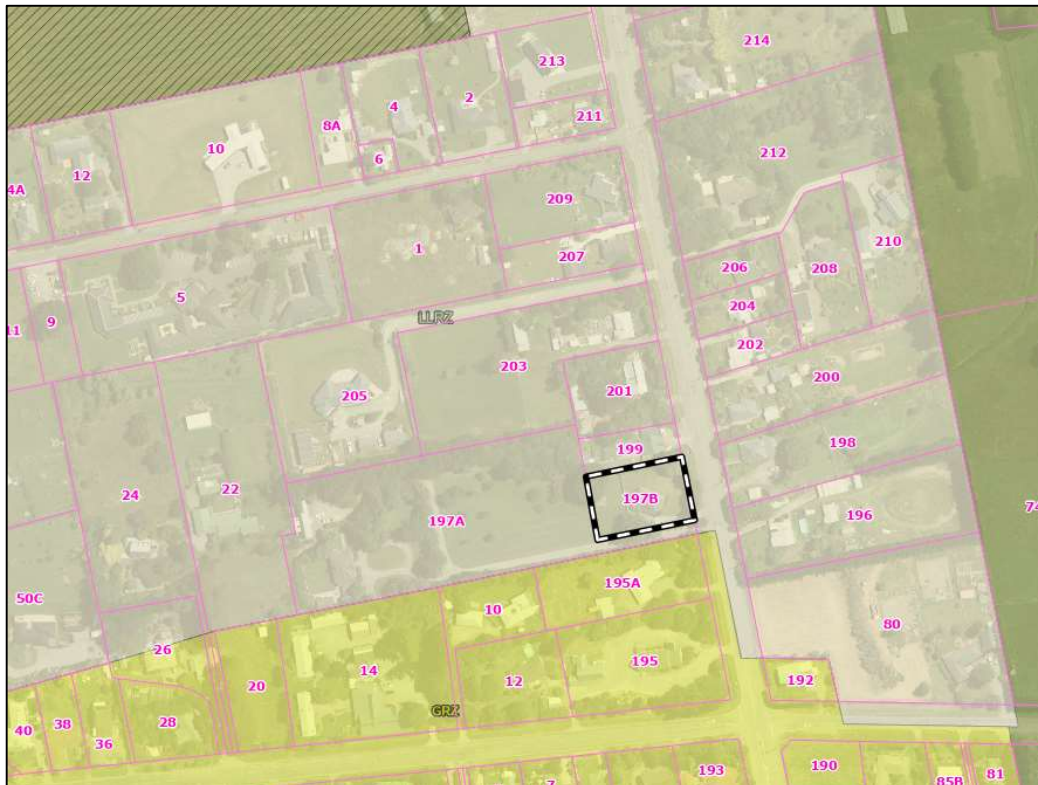


Figure 13: 197B High Street, Oxford – Source: WAIMAP

3.4.2 Engineering and Greenspace Advice

126. Engineering and Greenspace advice was sought in relation to the above rezoning requests. The advice received is within **Appendix C**. The key findings of the Engineering and Greenspace advice are described below. For ease of reference, I have referred to the advice on submissions for Waghorn Builders Limited [274.1], Dennis Powell [355.1], Patrick Campbell and Elvere Mooney [365.1] and Patrick Campbell and Elvere Mooney [366.1] together as the 'southwest area' and advice on submission George Welch [93.1] as the 'High Street area'.

Transport

127. Transport Engineering advice for the southwest triangle is that Cheapside Street, Perth Street, York Street and Bath Street will require urbanisation and widening, as they are not of a local road standard and GRZ density cannot be serviced for a road reserve of 10m. It is noted that a traffic assessment was not provided and therefore impacts of traffic generation are unknown, however it is acknowledged that background traffic is low.
128. With respect to the High Street area, it is noted that upzoning to GRZ will require urbanisation of the street frontage, including addressing the large drain and installing a footpath on the west side of High Street. There was not enough information to determine if intersection upgrading would be required for the Church / Weld / High Street intersection.

Servicing

129. Servicing Engineering advice is that there are stormwater constraints due to the existing flood hazard that would need to be addressed without raising the ground levels across the southwest area.
130. With respect to wastewater, there is capacity within the existing wastewater main along Main Street and future upgrades to the Commercial Street wastewater main will provide for sufficient capacity for the rest of the southwest area.
131. Planned upgrades to the existing water main in Main Street will provide sufficient capacity for connection of 131 Main Street. However, upgrading of the existing Commercial Street water main will be required to be undertaken earlier than planned to service the rest of the southwest area.
132. With respect to the High Street area, there is capacity within both the existing wastewater main and water main along High Street. However, the provision of stormwater servicing is a concern as there is an existing low flood hazard risk, and also challenges with the direction of fall. For these reasons, GRZ is not supported for a number of smaller properties.

Geotechnical

133. Geotechnical advice is that there is a suspected active fault that passes through southwest area. The suspected active fault is shown in **Figures 14 and 15** below.
134. GRZ is not supported within 20m of any faults shown on the GNS active faults database. Although, it is acknowledged that light timber framed single storey dwellings with a suspended timber floor supported on shallow timber piles could be used as partial mitigation of the risk of fault rupture, unless further geological investigation is carried out and is able to justify an alternative approach.
135. There are no known faults in the High Street Area.



Figure 14 – Suspected GNS Faults across the Southwest Area – Source: WAIMAP



Figure 15 – Suspected GNS Faults across Oxford – Source: WAIMAP

Hazards

136. There are major flooding and drainage challenges across the southwest area, and an active fault runs through a portion of it. Rezoning of the southwest area to GRZ is not supported by Council Engineers based on the presence of these hazards.

137. The rezoning of any sites within the High Street area that are in an overland flow path is not supported, as increased density would worsen the extensive drainage issues that exist in this area. 197B High Street is within the 'urban flood assessment' overlay on the Proposed Plan.

Greenspace

138. There are no implications for greenspace or open space matters in rezoning the southwest triangle or the smaller High Street properties from LLRZ to GRZ.

3.4.3 Assessment

National Policy Statement for Highly Productive Land 2022 (NPS-HPL)

139. An assessment of the NPS-HPL was not provided with any of the above submissions. Pursuant to Clause 3.6 of the NPS-HPL, there are restrictions on urban rezoning of HPL. Firstly, it needs to be determined if the subject sites are HPL, and then secondly, if they are whether the tests of Section 3.6 can be met to allow urban rezoning.
140. Clause 3.5(7) of the NPS-HPL sets out how to identify HPL. All the land subject to the above-described rezoning requests is zoned Residential 4A in the Operative Plan and LLRZ in the Proposed Plan.
141. Land that already has an urban zoning⁸ (e.g. LLRZ) is not HPL pursuant to Clause 3.5(7), and therefore the NPS-HPL does not apply to this land. Therefore, no further consideration of the NPS-HPL is required for rezoning requests on this already urban zoned land.

Canterbury Regional Policy Statement (CRPS)

142. Chapter 5 (Land Use and Infrastructure) and Chapter 11 (Natural Hazards) of the CRPS are the most relevant chapters for consideration here. Chapter 5 provides direction for land use and infrastructure across all of the Canterbury region and Chapter 11 provides direction for managing natural hazard risk in Canterbury.
143. The urban rezoning of subject land from LLRZ to GRZ sought could provide a consolidated pattern of development within an existing urban area. However, given the engineering advice received, it would not avoid or mitigate natural hazards or land uses that would likely result in increases in frequency and/or severity of hazards, therefore, not achieving Policy 5.3.2(2)(a). In addition, rezoning this land does not avoid new subdivision, use and development of land that increases risks associated with natural hazards, and therefore does not achieve Objective 11.2.1, Policy 11.3.3 (Earthquake hazards) or 11.3.5 (general risk management approach) of the CRPS.

Proposed Waimakariri District Plan (Proposed Plan)

144. The Natural Hazards chapter of the Proposed Plan gives effect to the CRPS. As such, and based on the engineering advice received, it has not been demonstrated that the natural hazard risk can be avoided, managed or mitigated through development to ensure that any increased risk to people and properties is low. Therefore, not achieving the following objectives and policies of the Proposed Plan: NH-O1 (Risk from Natural Hazards), NH-O3 (Natural Hazard Mitigation), NH-P1 (identification of natural hazards and risk-based approach), NH-P5 (Activities within the

⁸ NPS-HPL, Section 1.3 Interpretation – **urban**, as a description of a zone means... (a)... large lot residential...

Fault Awareness Overlay) and NH-P8 (Subdivision, use and development other than any natural hazard sensitive activities). I note that the WDDS does not identify future growth areas in west Oxford.

145. The rezonings sought here would not give effect to the CRPS. Therefore, I recommend that Waghorn Builders Limited [274.1], Dennis Powell [355.1], and Patrick Campbell and Elvere Mooney [366.1] and George Welch [93.1] be **rejected**, and that Patrick Campbell and Elvere Mooney [365.1], as it relates to the LLRZ to GRZ rezoning, be **rejected**.

3.4.4 Summary of recommendations

146. I recommend that Waghorn Builders Limited [274.1], Dennis Powell [355.1], Patrick Campbell and Elvere Mooney [366.1], and George Welch [93.1] be **rejected**.
147. I recommend that Patrick Campbell and Elvere Mooney [365.1] as it relates to the rezoning of 6 York Street, and all properties in the triangle between Commercial Road and Cheapside Street, and including Bath Street, York Street, Perth Street and Cheapside Street, from LLRZ to GRZ be **rejected**.
148. I recommend no changes to the Proposed Plan arising from these submissions.

3.5 Ohoka Rezoning Submission – Rural Lifestyle Zone (RLZ) to Settlement Zone (SETZ)

3.5.1 Matters raised by submitters

149. One submission was received seeking rezoning at Ohoka from RLZ to SETZ. The submission is from Grace Cameron and Nathan Wilson [228.1] and seeks to rezone 351 Bradleys Road, Ohoka.
150. No further submissions were received on this submission.
151. The submission of Grace Cameron and Nathan Wilson [228.1] states that they would like the site to be rezoned as it is too small to be utilised in a rural capacity and has continuously been used for residential purposes over 70 years, possibly longer. They further add that rural zoned properties require dwellings to be erected at a minimum of 20 metres off each boundary, however this site has a maximum width of 18.5 metres so automatically breaches rules for residential units in both the Operative Plan and Proposed Plan. Additionally, neighbouring properties on the opposite side of Bradleys Road are already zoned SETZ and are of a similar size.
152. The site is approximately 0.1505 hectares (1505m²) and shown in **Figure 16** below.



Figure 16: 351 Bradleys Road, Ohoka (Grace Cameron and Nathan Wilson [228.1]) – Source: WAIMAP

153. The submission is not supported by any technical reports provided by the submitter.
154. No specific changes to the Proposed Plan provisions are provided within the submission.
155. Since the submission was lodged, a resource consent to construct a dwelling at 351 Bradleys Road was granted in May 2023 (RC225357). A copy of the Decision Letter and Approved Plans are attached at **Appendix G**. An application to vary Condition 10.1 (which relates to stormwater attenuation) of RC225357 is currently being processed (RC245055).
156. I note that 351 Bradleys Road is also included in a submission by David Cowley [244.1] to rezone approximately 51 hectares across four properties, from RLZ to LLRZ. This submission will be assessed in the LLRZ rezonings section 42A report within Hearing Stream 12C.
157. I did not request an engineering assessment given the conclusions of my policy assessment.

3.5.2 Assessment

National Policy Statement for Highly Productive Land 2022 (NPS-HPL)

158. 351 Bradleys Road, Ohoka contains LUC class 2 soils (refer **Figure 17** below – LUC class 2 is lighter blue, LUC 3 is darker blue) and is zoned RLZ in the Proposed Plan and Rural in the Operative Plan. Clause 3.5(7)(b)(ii) of the NPS-HPL identifies land that is “*subject to a Council initiated, or an adopted, notified plan change to rezone it from general rural or rural production to urban or rural lifestyle*” is not highly productive land. As the property is zoned RLZ in the Proposed Plan, it meets the exclusion test and therefore, I have not considered the NPS-HPL further.

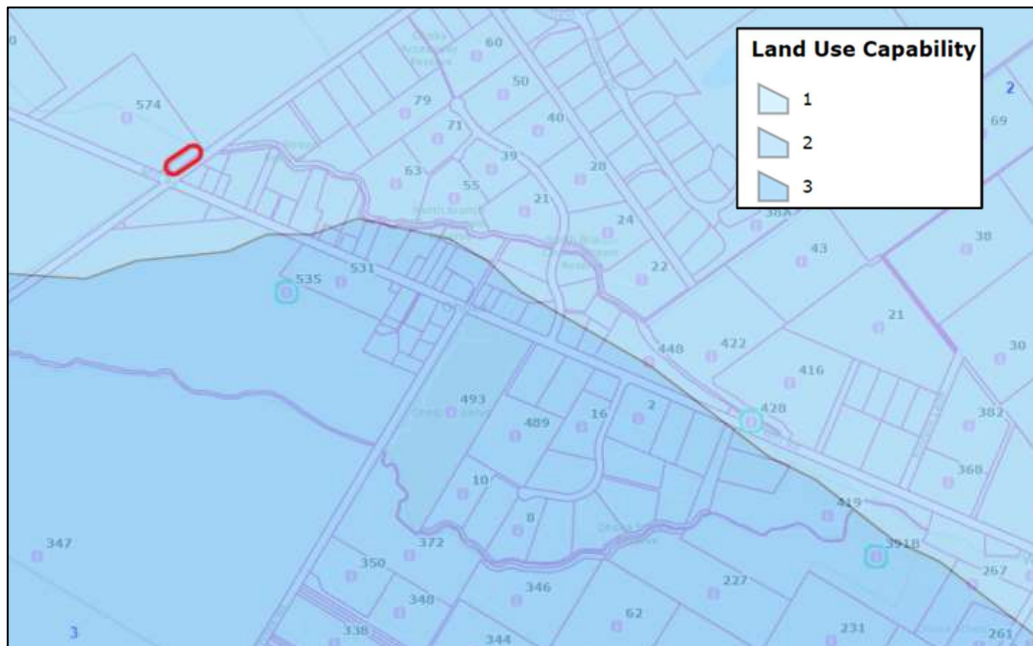


Figure 17: LUC 1, 2 and 3 – 351 Bradleys Road, Ohoka (Grace Cameron and Nathan Wilson [228.1]) – Source WAIMAP

National Policy Statement on Urban Development 2020 (NPS-UD)

159. I have considered the rezoning request against the direction in the NPS-UD and in particular Policy 8. Policy 8 requires local authorities to be responsive to plan changes that would add significant development capacity and contribute to a well-functioning urban environment. The rezoning of the property from RLZ to SETZ would enable the subdivision of the property into two allotments in accordance with the minimum allotment size of 600m² for the SETZ. I do not consider two allotments to be significant within the context of Policy 8 thus Policy 8 could not be applied. Therefore, a development proposal resulting in two allotments will not be giving effect to the NPS-UD.

Greater Christchurch Spatial Plan 2024 (GCSP)

160. The GCSP is a relevant FDS to have regard to under s74(2)(b)(i) of the RMA and as required by the NPS-UD subpart 4.
161. The NPS-UD subpart 4 requires every tier 1 and 2 local authority to produce a FDS applicable to the local authority(s) urban environment(s). Clause 3.13(1)(a) of the NPS-UD sets out that the purpose of the FDS is to:

“(a) to promote long-term strategic planning by setting out how a local authority intends to:

(i) achieve well-functioning urban environments in its existing and future urban areas; and

(ii) provide at least sufficient development capacity, as required by clauses 3.2 and 3.3, over the next 30 years to meet expected demand; and assist the integration of planning decisions under the Act with infrastructure planning and funding decisions.”

162. The GCSP identifies broad locations where development capacity will be provided for in the long-term to provide sufficient development capacity and identifies the infrastructure required to support the development capacity. The GCSP applies to Christchurch City and the

Selwyn and Waimakariri Districts and directs development for the long term to occur in and around the existing centres of Christchurch, Rangiora and Rolleston.

163. The GCSP does not direct additional residential development in Ohoka in the long term and the rezoning of 351 Bradleys Road is therefore not consistent with the GCSP.

Canterbury Regional Policy Statement (CRPS)

164. The property is located within the Greater Christchurch boundary shown on Map A of the CRPS. However, it is not within an identified Greenfield Priority Area or Future Development Area as shown on Map A of the CRPS.
165. Map A identifies Ohoka Village as an existing urban area and this is shown in grey in **Figure 18** below. The figure shows the location of 351 Bradleys Road (highlighted in orange) directly west of the Ohoka village urban area with Bradleys Road being the western extent to the Ohoka Village. The extent of the existing urban area identified on Map A is replicated in the Proposed Plan through the zoning of this area as SETZ.

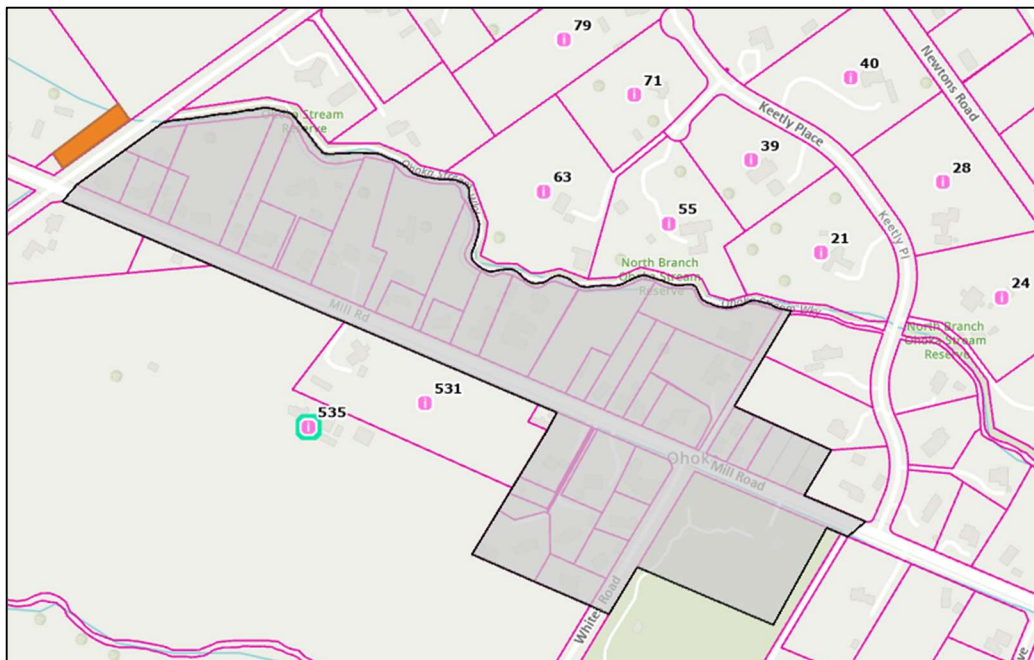


Figure 18: CRPS MAP A Ohoka Village urban area – Source: WAIMAP

166. Chapter 6 of the CRPS directs the location of new urban development to be in accordance with Map A. Objective 6.2.1 'Recovery Framework' clause (3) directs that "*urban development outside of existing urban areas or greenfield priority areas for development*" is avoided "*unless expressly provided for in the CRPS*".
167. Policy 6.3.1 'Development within the Greater Christchurch area' specifies in clause (1) that the urban form identified in Map A is to be given effect to and clause (4) directs that "*new urban activities only occur within existing urban areas or identified greenfield priority areas as shown on Map A, unless they are otherwise expressly provided for in the CRPS*".
168. The property is not located within an existing urban area or a Greenfield Priority Area identified on Map A, nor is the urban rezoning sought provided for elsewhere in the CRPS. Bradleys Road itself is a physical boundary at the western extent of the SETZ. If 351 Bradleys Road was to be rezoned to SETZ, there would be no physical boundaries to delineate the

boundary of the SETZ zone, potentially opening the zone up to rezoning creep requests in this location. Consequently, the rezoning of 351 Bradleys Road from RLZ to SETZ would not give effect to the objective and policy direction in the CRPS to avoid the further urban development of the Ohoka area.

Conclusion

169. For the above reasons, I consider rezoning 351 Bradleys Road, Ohoka would not give effect to the NPS-UD or the CRPS. Given this, I recommend that the submission from Grace Cameron and Nathan Wilson [228.1] be **rejected**.

3.5.3 Summary of recommendations

170. I recommend that Grace Cameron and Nathan Wilson [228.1] be **rejected**.
171. I recommend no changes to the Proposed Plan arising from this submission.

4 Conclusions


172. Submissions have been received in support of, and in opposition to the Proposed Plan in relation to the zoning of specified properties, as they apply to rezoning requests for Oxford and the Settlement Zones of Ohoka and Woodend Beach.
173. Having considered all the submissions and reviewed all relevant statutory and non-statutory documents, I recommend that Proposed Plan should be amended as set out in **Appendix A** of this report.
174. For the reasons set out in the Section 32AA evaluation as assessed in the JWS at **Appendix E**, I consider that the proposed recommended amendments to the Proposed Plan will be the most appropriate means to:
- achieve the purpose of the RMA where it is necessary to revert to Part 2 and otherwise give effect to higher order planning documents, in respect to the proposed objectives; and
 - achieve the relevant objectives of the Proposed Plan, in respect to the proposed provisions.

Recommendations:

I recommend that:

1. The Hearings Panel accept, accept in part, or reject submissions (and associated further submissions) as outlined in **Appendix B** of this report; and
2. The Proposed Plan is amended in accordance with the changes recommended in **Appendix A** of this report.

Signed:

| Name and Title | | Signature |
|----------------|--|---|
| Report Author | Rachel McClung Principal Policy Planner |  |

Appendix A. Recommended Amendments to Proposed District Plan

Where I recommend changes in response to submissions, these are described below.

Insert new Southeast Oxford Development Area and ODP, and amend planning map to rezone 3 Harewood Road to GRZ as follows:

Part 3 – Area specific matters / Wāhanga waihanga - Development Areas / Existing Development Areas

SOX - South Oxford Development Area⁹

Introduction

The South Oxford Development Area comprises approximately 3.5ha of land fronting Harewood Road. It is directly to the east of Oxford Hospital. The area is General Residential Zone.

The DEV-SOX-APP1 area includes:

- Roading connections through to Harewood Road and neighbouring land;
- pedestrian/cycle connections (within the road);
- stormwater treatment area; and
- an identified reserve area.

Activity Rules

| <u>DEV-SOX-R1 South Oxford Development Area Outline Development Plan</u> | |
|---|---|
| <u>Activity status: PER</u> <u>Where:</u> 1. <u>development shall be in accordance with DEV-SOX-APP1.</u> | <u>Activity status when compliance not achieved: DIS</u> |
| <u>Advisory Note</u> <ul style="list-style-type: none">• <u>For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the provision.</u> | |

Built Form Standards

There are no area-specific built form standards for the South Oxford ODP area.

Appendix

DEV-SOX-APP1 Southeast Oxford ODP

⁹ Geoff Mehrtens [175.1], Oxford-Ohoka Community Board [172.2] and Claudia & Geoff Mehrtens [FS24]

Include an ODP to like effect of the below including standardised Council format



Planning Map – Oxford – amend to show 63 Harewood Road, Oxford (identified below inside the blue line) as GRZ.



Appendix B. Recommended Responses to Submissions and Further Submissions

The recommended responses to the submissions made on this topic are presented in Table below.

Table B: Recommended responses to submissions and further submissions

| Sub. Ref. | Submitter / Further Submitter | Provision | Decision Requested (Summary) | Section of this Report where Addressed | Officer's Recommendation | Officers' Reasons/Comments | Recommended Amendments to Proposed Plan? |
|---------------|-------------------------------|---|---|---|--------------------------|---|--|
| Oxford | | | | | | | |
| 175.1 | Geoff Mehrtens | Planning Maps – General | Rezone 63 Harewood Road, Oxford, from General Rural Zone to General Residential Zone. | 3.3 | Accept | <p>A Joint Witness Statement (JWS) between myself and Ms Claire McKeever (Planner representing Geoff Mehrtens [175.1]) has been prepared.</p> <p>Key matters addressed in the JWS include:</p> <ul style="list-style-type: none"> the National Policy Statement for Highly Productive Land 2022 (NPS-HPL); the objectives and policies of the Proposed Plan; Consideration of Council's Engineering and Reserve Advice; and The proposed area specific matters for insertion in the Proposed Plan. <p>We agreed on all matters. There were no matters of disagreement. It is the joint opinion of both Ms McKeever and me that the overall conclusions of the s32AA provided with the original submission remain the same. I recommend that 63 Harewood Road, Oxford is rezoned from GRUZ to GRZ.</p> | Yes |
| 172.2 | Oxford-Ohoka Community Board | SUB-S1 | Provide for smaller sections on Oxford outskirts as infill housing adversely affects Oxford rural character. Zone land around Oxford Frew's Yard and Harewood Road as industrial. | 3.3 The industrial rezoning aspects of this submission point are being addressed by the Industrial Rezoning s42A report. | Accept in part | Rezoning 63 Harewood Road provides for The Boards preference for land on the outskirts of Oxford to be rezoned to allow for more residential development. | Yes |
| FS24 | Claudia & Geoff Mehrtens | | <p><i>Support in part (related to zoning for housing on outskirts of oxford)</i></p> <p><i>Oppose in part (related to industrial zoning aspects)</i></p> | | Accept | | Yes |
| 172.3 | Oxford-Ohoka Community Board | Planning Maps – General (incorrectly referenced as EI-R45 in the | <p>Oppose infill housing in Oxford.</p> <p>Seek smaller sections on outskirts of Oxford.</p> <p>Rezone area around the Oxford Frews' Yard and the Harewood Road for industrial.</p> | 3.3 The industrial rezoning aspects of | Accept in part | Rezoning 63 Harewood Road provides for The Boards preference for land on the outskirts of Oxford to be rezoned to allow for more residential development. | Yes |

| Sub. Ref. | Submitter / Further Submitter | Provision | Decision Requested (Summary) | Section of this Report where Addressed | Officer's Recommendation | Officers' Reasons/Comments | Recommended Amendments to Proposed Plan? |
|-----------|--|-------------------------|---|---|--------------------------|---|--|
| | | summary of submissions) | | this submission point are being addressed by the Industrial Rezoning s42A report. | | | |
| FS24 | Claudia & Geoff Mehrrens | | <i>Support in part (related to zoning for housing on outskirts of oxford) Oppose in part (related to industrial zoning aspects)</i> | | Accept | | Yes |
| 161.1 | James Brett Weir | SUB-R10 | Amend zoning from rural to residential between 12 Bush Road and Mill Road (on the even-numbered side of the road). | 3.3 | Reject | The subject sites are proposed to be zoned General Rural Zone and contain LUC 2 and 3 soils. The exceptions for restricting urban zoning of HPL within the NPS-HPL are not meet. Rezoning the land would not give effect to the NPS-HPL. | No |
| FS82 | Rolleston Industrial Developments Limited, Carter Group Property Limited, and CSI Property Limited | | Support | | Reject | | No |
| 274.1 | Waghorn Builders Ltd – Luke and Jake Waghorn | Planning Maps – General | Rezone 131 Main Street to General Residential Zone. | 3.4 | Reject | Would not avoid or mitigate natural hazards or land uses that would likely result in increases in frequency and/or severity of hazards, therefore, not achieving CRPS Policy 5.3.2(2)(a). In addition, rezoning this land does not avoid new subdivision, use and development of land that increases risks associated with natural hazards, and therefore does not achieve Objective 11.2.1, Policy 11.3.3 (Earthquake hazards) or 11.3.5 (general risk management approach) of the CRPS. | No |
| 355.1 | Dennis James Powell | Planning Maps – General | Rezone the large sections between Main St. Commercial Rd and Cheapside St., Oxford from Large Lot Residential Zone to General Residential Zone. | 3.4 | Reject | Would not avoid or mitigate natural hazards or land uses that would likely result in increases in frequency and/or severity of hazards, therefore, not achieving CRPS Policy 5.3.2(2)(a). In addition, rezoning this land does not avoid new subdivision, use and development of land that increases risks associated with natural hazards, and therefore does not achieve Objective 11.2.1, Policy 11.3.3 (Earthquake hazards) or 11.3.5 (general risk management approach) of the CRPS. | No |

| Sub. Ref. | Submitter / Further Submitter | Provision | Decision Requested (Summary) | Section of this Report where Addressed | Officer's Recommendation | Officers' Reasons/Comments | Recommended Amendments to Proposed Plan? |
|--------------|--|--|---|--|--------------------------|---|--|
| 365.1 | Patrick Thomas Campbell and Elvere Nina Mooney | Planning Maps – General | Rezone 6 York Street Oxford and Lot 1 from 34 Commercial Road, and all properties in the triangle between Commercial Road and Cheapside Street, and including Bath Street, York Street, Perth Street and Cheapside Street, from Large Lot Residential Zone to General Residential Zone. | 3.3 (34 Commercial Rd) and 3.4 (other properties identified) | Reject | Would not avoid or mitigate natural hazards or land uses that would likely result in increases in frequency and/or severity of hazards, therefore, not achieving CRPS Policy 5.3.2(2)(a). In addition, rezoning this land does not avoid new subdivision, use and development of land that increases risks associated with natural hazards, and therefore does not achieve Objective 11.2.1, Policy 11.3.3 (Earthquake hazards) or 11.3.5 (general risk management approach) of the CRPS. | No |
| 366.1 | Patrick Thomas Campbell and Elvere Nina Mooney | Planning Maps – General | Rezone 15 Perth Street, Oxford and all properties in the triangle between Commercial Road and Cheapside Street, including Bath Street, York Street, Perth Street and Cheapside Street, from Large Lot Residential Zone to General Residential Zone. | 3.4 | Reject | Would not avoid or mitigate natural hazards or land uses that would likely result in increases in frequency and/or severity of hazards, therefore, not achieving CRPS Policy 5.3.2(2)(a). In addition, rezoning this land does not avoid new subdivision, use and development of land that increases risks associated with natural hazards, and therefore does not achieve Objective 11.2.1, Policy 11.3.3 (Earthquake hazards) or 11.3.5 (general risk management approach) of the CRPS. | No |
| 93.1 | George Welch | GRZ - General Residential Zone – General | Consider extending the residential zone North along High Street, Oxford to include smaller properties adjacent to the current residential zone. | 3.4 | Reject | Would not avoid or mitigate natural hazards or land uses that would likely result in increases in frequency and/or severity of hazards, therefore, not achieving CRPS Policy 5.3.2(2)(a). In addition, rezoning this land does not avoid new subdivision, use and development of land that increases risks associated with natural hazards, and therefore does not achieve Objective 11.2.1 or 11.3.5 (general risk management approach) of the CRPS. | No |
| Ohoka | | | | | | | |
| 228.1 | Grace Cameron and Nathan Wilson | Planning Maps – General | Rezone 351 Bradleys Road, Ohoka, from Rural Lifestyle Zone to Settlement Zone. | 3.5 | Reject | This is not considered to be a significant development in terms of Policy 8 of the NPS-UD. The property is not located within an existing urban area or a greenfield priority area identified on Map A of the CRPS, nor is the urban rezoning sought provided for elsewhere in the CRPS. Consequently, the rezoning of 351 Bradleys Road from RLZ to SETZ would not give effect to the objective and policy direction in the | No |

| Sub. Ref. | Submitter / Further Submitter | Provision | Decision Requested (Summary) | Section of this Report where Addressed | Officer’s Recommendation | Officers’ Reasons/Comments | Recommended Amendments to Proposed Plan? |
|----------------------|-------------------------------|-------------------------|--|--|--------------------------|---|--|
| | | | | | | CRPS to avoid the further urban development of the Ohoka area. | |
| Woodend Beach | | | | | | | |
| 394.1 | David Butt Catherine Butt | Planning Maps – General | Retain the current Settlement Zone at Woodend Beach. | N/A | Accept | Agree. There is no contention that the Settlement Zone at Woodend Beach should be retained as notified. | No |
| 397.1 | Catherine Butt | Planning Maps – General | Retain the current Settlement Zone at Woodend Beach. | N/A | Accept | Agree. There is no contention that the Settlement Zone at Woodend Beach should be retained as notified. | No |
| 399.1 | Ronnie Dawe | Planning Maps – General | Retain the current Settlement Zone at Woodend Beach. | N/A | Accept | Agree. There is no contention that the Settlement Zone at Woodend Beach should be retained as notified. | No |

Appendix C. Engineering and Greenspace Advice

**Before the Hearings Panel
At Waimakariri District Council**

Under Schedule 1 of the Resource Management Act 1991

In the matter of the Proposed Waimakariri District Plan

Between **Various**

Submitters

And **Waimakariri District Council**

Respondent

**Statement of evidence of Shane Binder (Transport), John Aramowicz
(Servicing, Hazards), Christopher Bacon (Servicing, Hazards), Jon Read (Green
Space) on behalf of Waimakariri District Council.**

Date: 8 April 2024

INTRODUCTION:

Mr Shane Isaac Binder (Transport)

- 1 My full name is Shane Isaac Binder. I am employed as the Senior Transportation Engineer for Waimakariri District Council.
- 2 I have prepared this statement of evidence on behalf of the Waimakariri District Council (**District Council**) in respect of technical related matters arising from the submissions and further submissions on the Proposed Waimakariri District Plan (**PDP**).
- 3 Specifically, this statement of evidence relates to transportation technical advice, identifying any significant constraints.
- 4 I am authorised to provide this evidence on behalf of the District Council.

Mr John Thomas Aramowicz (Servicing, Hazards)

- 5 My full name is John Thomas Aramowicz. I am acting as a consultant engaged to provide technical advice on behalf of the Waimakariri District Council.
- 6 I have prepared this statement of evidence on behalf of the Waimakariri District Council (**District Council**) in respect of technical related matters arising from the submissions and further submissions on the Proposed Waimakariri District Plan (**PDP**).
- 7 Specifically, this statement of evidence relates to civil and geotechnical engineering advice, identifying any significant constraints in relation to the various submissions that seek an alternative zoning to that originally put forward by WDC's Proposed District Plan.
- 8 I am authorised to provide this evidence on behalf of the District Council.

Mr Christopher Paul Bacon (Servicing, Hazards)

- 9 My full name is Christopher Paul Bacon. I am employed as a Network Planning Team Leader at Waimakariri District Council. In this position I am involved with planning for infrastructure growth and flood modelling.
- 10 I have prepared this statement of evidence on behalf of the Waimakariri District Council (**District Council**) in respect of technical related matters arising from the submissions and further submissions on the Proposed Waimakariri District Plan (**PDP**).
- 11 Specifically, this statement of evidence relates to servicing and hazards technical advice, identifying any significant constraints.
- 12 I am authorised to provide this evidence on behalf of the District Council.

Mr Jonathan Spencer Read (Green Space)

- 13 My full name is Jonathan Spencer Read. I am employed as a Green Space and Community Facilities Planner.
- 14 I have prepared this statement of evidence on behalf of the Waimakariri District Council (**District Council**) in respect of technical related matters arising from the submissions and further submissions on the Proposed Waimakariri District Plan (**PDP**).
- 15 Specifically, this statement of evidence relates to Proposed District Plan rezoning requests.
- 16 I am authorised to provide this evidence on behalf of the District Council.

QUALIFICATIONS AND EXPERIENCE

Mr Shane Isaac Binder (Transport)

- 17 I hold the qualifications of Bachelor of Science in Civil Engineering from Pennsylvania State University (USA), and a Master of Science degree in Civil Engineering from the University of Colorado (USA), both with specialisations in transport.
- 18 I have more than 22 years' experience as a professional traffic engineer and road safety specialist, both in New Zealand and abroad. I have had the position of Waimakariri District Council Senior Transportation Engineer for the last three years. In this role I manage the District's transport planning, strategy, and engineering functions, including road safety, traffic modelling, parking, and public transport elements.
- 19 I am a Chartered Professional Engineer (CPEng), a Professional Engineer (Colorado and Washington State, USA), and a Road Safety Professional (Level 1) certified by the Institute of Transportation Engineers. I am a Chartered Member of Engineering New Zealand. I am also a member of the Transportation Group of Engineering New Zealand and am on the steering committee of the Safety Practitioners Sub-group.

Mr John Thomas Aramowicz (Servicing, hazards)

- 20 I am a Chartered Professional Engineer in the practice areas of civil and geotechnical engineering. I gained a Bachelor of Engineering in Mining Engineering from Curtin University in 1994.
- 21 I have over 20 years of experience as a civil and geotechnical engineer in Canterbury where I have consulted on numerous land development projects, insurance claims, and build projects. My main area of technical expertise is the assessment and management of risk from natural hazards, such as flooding, liquefaction, rock fall, land slippage, and subsidence. I also have experience with the design and

construction of stormwater, water and wastewater systems in both rural and urban environments.

22 I am contracted by the Waimakariri District Council to provide civil and geotechnical engineering advice in relation to the various submissions that seek an alternative zoning to that originally put forward by WDC's Proposed District Plan.

23 My brief summary statements are based on information presented in the Applicants Evidence, from mapping information shown on the Waimakariri District Council's 'Waimaps' geographical information system (GIS), and from my discussion with WDC engineers.

24 Except where I state I rely on the evidence of another person, I confirm that the issues I have reviewed and any statements that I have made in my summary are within my area of expertise, and I have not omitted to consider material facts known to me that might alter or detract from my expressed opinions.

Mr Christopher Paul Bacon (Servicing, Hazards)

25 I am a Chartered Professional Engineer and hold a Bachelor Degree in Civil Engineering. I have over 20 years of experience in civil engineering.

26 My summary statement has predominantly been based on modelling data shown on the Waimakariri District Council's 'Waimaps' geographical information system (GIS), much of which I was responsible for coordinating and managing, and from my discussion with other WDC engineers.

27 Except where I state I rely on the evidence of another person, I confirm that the issues I have reviewed and any brief summary statements that I have made are within my area of expertise, and I have not omitted to consider material facts known to me that might alter or detract from my expressed opinions.

Mr Jonathan Spencer Read (Green Space)

28 I hold the qualifications of Bachelor Degree in Resource Studies.

29 I have worked for 30 years in the local authority field of parks,
recreation and open space planning.

Code of conduct

30 I have read the Code of Conduct for Expert Witnesses set out in the
Environment Court's Practice Note 2023. I have complied with the Code
of Conduct in preparing my evidence and will continue to comply with it
while giving oral evidence before the Environment Court. My
qualifications as an expert are set out above. Except where I state I rely
on the evidence of another person, I confirm that the issues addressed
in this statement of evidence are within my area of expertise, and I have
not omitted to consider material facts known to me that might alter or
detract from my expressed opinions.

SUMMARY

Mr Shane Isaac Binder (Transport)

31 My name is Shane Isaac Binder.

32 I have been asked by the Council to provide transportation evidence in
relation to rezoning requests.

33 My statement of evidence addresses transportation.

Mr John Thomas Aramowicz (Servicing, hazards)

34 My name is John Thomas Aramowicz.

35 I have been asked by the Council to provide civil and geotechnical
engineering evidence in relation to rezoning requests.

Mr Jonathon Spencer Read (Green Space)

36 My name is Jonathan Spencer Read.

37 I have been asked by the Council to provide Green Space evidence in relation to rezoning requests.

38 My statement of evidence addresses various submission and evidence in relation to green space matters, as requested by the Report Writer.

Mr Christopher Paul Bacon (Servicing, Hazards)

39 My name is Christopher Paul Bacon.

40 I have been asked by the Council to provide civil engineering evidence in relation to rezoning requests.

41 The brief summary statements made by Mr Aramowicz and Mr Bacon typically relate to an intention that Council avoid rezoning in areas where;

- The future activity (ie densification or change in land use) is likely to result in a significant increase in the risk of damage from a natural disaster, and/or
- There is insufficient water/wastewater/stormwater capacity and where Council has not planned to provide sufficient services for the proposed land use in its growth planning.

INVOLVEMENT WITH THE PROPOSED PLAN

Mr Shane Isaac Binder (Transport)

42 I have been involved in the PDP since March 2021, providing advice when requested on general transport rules and activity standards.

Mr John Thomas Aramowicz (Servicing, hazards)

43 I have been involved in the PDP since March 2024.

Mr Christopher Paul Bacon (Servicing, Hazards)

44 I have been involved in the PDP since 2021.

Mr Jonanthan Spencer Read (Green Space)

45 I have been involved in the PDP since 2018.

SCOPE OF EVIDENCE

46 This statement of evidence addresses matters raised by submitters in relation to transport, civil and geotechnical engineering.

47 Attachment A includes a table of expert engineering and green space evidence.

48 Attachment B includes expert transportation evidence provided by Mark Gregory (WSP) for 63 Harewood Road (submission 175).

Date: 8 April 2024

| Ref. | Sub No. | Identifier | Transport | Servicing | Geotech | Hazards | Greenspace |
|------|---------|---------------------------------|--|---|---|---|--|
| 1 | s 175 | Geoff Mehrtens - 63 Harewood Rd | See 240321045341 - WSP Memo, Mark Gregory 21 March 2024 | <p>Stormwater: There are no significant constraints that would prevent rezoning to GRZ.</p> <p>Wastewater: Rezoning of the site to GRZ as part of the 2024 PDP, and assuming subsequent subdivision development, would trigger the need to upgrade of the w/w pipe along Harewood Rd, possibly ahead of the 11-20yr timeframe shown in the WDC growth model.</p> <p>Water: Rezoning of the site as part of the 2024 PDP, and assuming subsequent subdivision development, would trigger the need to upgrade of the water supply and w/w pipe along Harewood Rd, possibly ahead of the 11-20yr timeframe shown in the WDC growth model.</p> <p>For wastewater, if they went first, they would need their own pump station to use reticulation to the west. If the bigger block to the east developed to residential standard, 63 Harewood could connect into their system and the proposed new pump station would service the area (ultimately).</p> <p>John Aramowicz - 18 March 2024. Reviewed with Chris Bacon 22/3/24.</p> | <p>There are no significant risks from potential natural hazards that would prevent rezoning to GRZ.</p> <p>John Aramowicz - 18 March 2024</p> | <p>There is the remnant of an overland flowpath in the southern portion of the site, but this appears to have been broken up by modifications already undertaken to land levels. There is no significant flood hazard on the site.</p> <p>Chris Bacon 22/3/24.</p> | <p>The Mehrtens rezoning submission advocates a proposed zone change from General Rural Zone to General Residential Zone at 63 Harewood Road. It includes an extensive Planning Assessment and a proposed Outline Development Plan (ODP). This documentation references perceived benefits and positive outcomes relating to: * Intergration with the existing Oxford township, * An integrated neighbourhood adjoining the existing township of Oxford, * Social benefits via adjoining existing residential development and close proximity to commuity facilities and town centre, * The site is considered walkable to Oxford and the townships community amenities, *Community health and well-being encouraging walking, cycling and other non-motorised transport options, * Resilience via connectivity and social interaction and connectivity throughout the future residential development to the east and to Oxford. It will be very difficult for all of the above aims to be realised in the foreseeable future given that the ODP site will be surrounded by extensive rural land to the East and established urban residential properties to the north. There are no direct connecrions to Oxford township. Consequently, none are being shown on the ODP. Access to the township's park spaces and key facilities will be by vehicle or via a long indirect walk off the development's southern (Harewood Rd) boundary. This does not meet Council's Parks level of service standards regarding acceptable distances and walking time to a neighbourhood park space. The physical barrier formed by the unbroken line of existing residential boundary lots to the north makes it difficult for Council to advocate or support the potential provision of an otherwise justifiable new neighbourhood Park within the Mehrtens proposed ODP area. In this scenario, there is still an opportunity for a neighbourhood park space to be planned for within the future development area to the east of the current proposal. The proposal to rezone 63 Harewood Road may have merits, but when it comes to resident access to public park spaces and opportunities for physical and social connection and integration with the wider community, I believe it is currently lacking. Jon Read - 28 March 2024</p> |

| Ref. | Sub No. | Identifier | Transport | Servicing | Geotech | Hazards | Greenspace |
|------|---------|--|--|--|---|---|---------------------------|
| 2 | s 274 | LLRZ to GRZ (Group) - separated for Eng response | <p>•Submission 274- 131 Main St Oxford</p> <p>oNote that Cheapside St will require urbanisation and widening</p> <p>oNote that Cheapside St has a very narrow road reserve but I do not anticipate that the level of traffic generated by this change to create major traffic effects. Shane Binder - 15 March 2024</p> | <p>Stormwater: The area is underlain by silty loam soils with medium-low infiltration capacity soils. Engineering design will need to ensure the rate/volume of SW runoff is attenuated to pre-development levels to avoid exacerbating the existing flood hazard. There should be no filling of the land to raise ground levels due to the existing risk of inundation.</p> <p>Wastewater: There is an existing water WW main along Main St (TRIM231206196571). It is considered there will be sufficient WW capacity to supply demand from the proposed GRZ.</p> <p>Water: There is an existing water main along Main St, and upgrade works are forecast for period 1 (1-10yrs) in 50yr 2023 growth model (TRIM231206196571). It is considered there will be sufficient capacity to supply demand from the proposed GRZ.</p> <p>John Aramowicz - 19 March 2024. Reviewed with Chris Bacon 22/3/24.</p> | <p>There is a suspected active fault (Starvation Hill fault) that passes through the site. GNS report 2033/44 for eastern Oxford (Lots 2 & 3 DP51992) assumes the Starvation Hill fault has a recurrence interval III and (at that location) that the fault area be zoned GRUZ to minimise the density of development, but concedes that within GRUZ light timber framed single storey dwellings with a suspended timber floor supported on shallow timber piles could be used as partial mitigation of the risk of fault rupture. I recommend a similar approach be adopted to the part of the site that is within 20m of any faults shown on the GNS active faults database, unless further geological investigation is carried out and is able to justify an alternative approach. General Residential zoning not supported within that setback.</p> <p>John Aramowicz - 19 March 2024</p> | <p>There is substantial medium hazard flooding across the site. RC225255 consented subdivision to 3 lots. Each lot has a consent notice requiring houses to be constructed on pile foundations; no major earthworks are permitted without an assessment of flood effect. On site system to manage the 10% AEP is required - either soakpits, or other attenuation. Secondary flow paths need to be allowed for in stormwater design for the site. Tawera Lane drain downstream has capacity issues - existing LOS challenges; requires upgrade. LOS would be primary event in the channel, but needs to be able to convey the 50 year.</p> <p>There are major flooding and drainage challenges at this site, and an active fault runs through southern portion of it. If rezoning to GRZ would permit another dwelling to be established here, we do not support the rezoning of this site.</p> <p>Chris Bacon 22/3/24.</p> | Covered by other requests |

| Ref. | Sub No. | Identifier | Transport | Servicing | Geotech | Hazards | Greenspace |
|------|-----------------|---------------------|--|---|---|--|---|
| 3 | s 355, 365, 366 | LLRZ to GRZ (Group) | <p>•Submissions 355, 365, 366- Main St, Commercial Rd, Cheapside St, Oxford</p> <p>oNote that all of the north-south streets will require urbanisation and widening</p> <p>oNote that all of the north-south streets have very narrow road reserves; full GRZ density cannot be serviced from a road reserve of 10m the road reserve needs widening.</p> <p>oNo traffic assessment has been conducted so we do not know whether enough new traffic will be generated to create major traffic effects. However, the existing background traffic is quite low on all streets, <u>but streets are underwidth and not of local road standard.</u></p> <p>olt would appear that Submission 365 does not include 34 Commercial Road (which is on the south side of Commercial Rd and outside of the “triangle” common across all three submissions). Hopefully this is a correct interpretation because the “triangle” north of Commercial Rd seems appropriate for GRZ but not necessarily south of Commercial.</p> <p>Shane Binder - 15 March 2024</p> | <p>Stormwater: The area is underlain by silty loam soils with medium-low infiltration capacity soils. Engineering design will need to ensure the rate/volume of SW runoff is attenuated to pre-development levels to avoid exacerbating the existing flood hazard. There should be no filling of the land to raise ground levels due to the existing risk of inundation. There may be an opportunity to divert stormwater south away from Flannigans Drain (which has existing issues). Note flood hazard comments re the east of the site.</p> <p>Wastewater: There is an existing wastewater main along Commercial St, and upgrade works are forecast for period 1 (1-10yrs) in 50yr 2023 growth model (TRIM231206196571). It is considered there will be sufficient capacity to accept future WW demand from the proposed GRZ.</p> <p>Water: There is an existing water main at the NE corner of the site at Commercial St. Subdivision of OXG01 would require upgrade of the water supply main along Commercial Rd which is scheduled to occur in the period 1 (10-20yrs) in 50yr 2023 growth model (TRIM231206196571).WDC may need to bring forward WW upgrade if OXG01 is rezoned to GRZ.</p> <p>John Aramowicz - 19 March 2024. Reviewed with Chris Bacon 22/3/24.</p> | <p>There are suspected active fault/s that passes through the area of s355/365/366 (north of Commercial Rd). GNS report 2033/44 for eastern Oxford (Lots 2 & 3 DP51992) assumes the Starvation Hill fault has a recurrence interval III and that the fault area be zoned GRUZ to minimise the density of development, but concedes that within GRUZ light timber framed single storey dwellings with a suspended timber floor supported on shallow timber piles could be used as partial mitigation of the risk of fault rupture. I recommend a similar approach be adopted to any areas of s274/355/365/366 that are within 20m of the faults shown on the GNS active faults database. The problem is that GNS, or another experienced geologist, haave not determined the location of ground rupture/deformation that the 20m setback would need to apply. In short, further geological investigation of the active fault across the site is needed before WDC can assess whether the site can be used in part for the proposed GRZ. Until this is done, WDC recommend the proposed rezoning be rejected. eneral Residential zoningis not supported within the 20m fault avoidance zone setback.</p> <p>John Aramowicz - 19 March 2024</p> | <p>The west of this area is mostly outside of low, medium and high flood hazard and is located in very low flood hazard (200 year mapping).</p> <p>The eastern side of the 'triangle' area, between Cheapside Street and Perth Street, is in low/medium flood hazard located in the overland flow path which crosses Oxford south of Main Street. Earthorks are not recommended in this area due to likelihood of causing effects to neighbours.</p> <p>The presence of the flood hazard overland flow path and the faults together make it difficult to support rezoning the area between Perth Street and Cheapside Street to General Residential. We do not recommend rezoning this area of land to GRZ based on presence of hazards.</p> <p>Chris Bacon 22/3/24.</p> | <p>The rezoning submissions related to these various other individual sites in Oxford raise no particular public open space or community green space matters of relevance to a decision. The general principles of maintaining and creating a stable, integrated and well-connected community still apply.</p> <p>Jon Read - 28 March 2024</p> |

| Ref. | Sub No. | Identifier | Transport | Servicing | Geotech | Hazards | Greenspace |
|------|---------|---|---|--|-------------------|--|--|
| 4 | s 93 | Minor amendments - rezone smaller lots to GRZ. 26, 50, 50A, 52 Church St. | <p>•Submission 93- High St Oxford</p> <p>o Many of these sites gain access through narrow drivesways/accessways/ROWs, and these are not suitable for servicing GRZ density (e.g. 50B-E in particular). Access into these LLRZ sites behind current GRZ sites is a constraint. Note that any upzoning north-west of Church Street will require urbanisation of Church St and High St frontages, including a sizeable drain and culvert at 197B High St. It is also worth considering that the present level of service requires a footpath on one side only but the PDP will require footpaths on both sides, which could be a change from historical expectations in this area. Two footpaths would be required.</p> <p>oThere could be some broader network benefit to extending the urbanisation north to Queen Street (north to 209) to provide better connectivity to the retirement village on Queen Street.</p> <p>-Note that Queen Street itself is substandard (very narrow reserve and carriageway, no footpath). There may need to be a broader conversation if we are going to extend to Queen Street, due to its limitations. This could also need a conversation around a north-south link between High and Wilsons (which would potentially require an ODP). Otherwise, I would not see a strong need from transport for an ODP.</p> <p>oNo traffic assessment has been conducted so we do not know whether enough new traffic will be generated to create major traffic effects. My gut instinct is that there won't be enough new traffic generated to require substantial improvements to the Church / Weld / High intersection but I cannot say for sure without more detail on total new yield and traffic generated. I do have concerns regarding lots which gain access from Church Street via long narrow accessways, and how these would function in a GRZ environment. They do not meet local road or cul-de-sac standard.</p> <p>Shane Binder - 15 March 2024</p> | <p>Stormwater: Unable to determine from WDC GIS if SW infiltration into ground will be practical in this area, although Landcare soil mapping indicates the area is underlain by silt loam which suggests moderate to low infiltration capacity. Practicality of providing stormwater servicing to these lots is a concern. Engineering design would need to ensure the rate/volume of SW runoff is attenuated to pre-development levels to avoid exacerbating the existing low flood hazard. WDC eng staff are aware of known poor drainage issues in this area due to channel overflow. There are also challenges with direction of fall (away from road).</p> <p>Wastewater: There is an existing WW main along High St, there will be sufficient capacity to accommodate the proposed GRZ.</p> <p>Water: There is an existing water main along High St. There will be sufficient capacity to service the proposed GRZ.</p> <p>52 and 26: better suited to LLRZ? Do not recommend GRUZ.</p> <p>50 and 50A: OK to go to general residential on basis no additional dwelling should be established here (query whether it is worth 'redrawing' the boundary just for these two lots).</p> <p>Stormwater servicing is a major challenge in this area of Oxford, and for that reason rezoning 26 and 52 Church Street to GRZ is not supported.</p> <p>John Aramowicz - 19 March 2024. Reviewed with Chris Bacon 22/3/24.</p> | No active faults. | <p>These site is in an area of low/medium flood hazard with silt loam soils. SW runoff will need to avoid exacerbating the flood risk to surrounding/downstream properties. There should be no filling of the site to avoid worsening the flood risk to surrounding properties. We do not recommend rezoning any LLRZ properties to GRZ where they are located in an overland flow path (as they are here). This area already has extensive drainage issues which would be worsened with density.</p> <p>John Aramowicz - 19 March 2024.</p> <p>Reviewed with Chris Bacon 22/3/24.</p> | This stream has no implications for green space or open space matters. Jon Read - 28 March 2024 |

| Ref. | Sub No. | Identifier | Transport | Servicing | Geotech | Hazards | Greenspace |
|------|---------|--|--------------------------------|--|---------------|--|---------------|
| 5 | None | Split zone: 22,24,50B-E, 60B Church St. Within 1.3 on scope sheet. | Covered in s 93 response above | <p>Stormwater: All of 22 & 24 Church St, and the north half of 50B-E and 60B Church St are affected by LOW flood hazard. However, WDC eng staff report known drainage/issues due to channel overflow in nearby area.</p> <p>Wastewater: There is an existing WW main along Church St., and upgrade works are not forecast for the general area in the in 50yr 2023 growth model (TRIM231206196571). It is considered there will be sufficient capacity to accept future WW demand from the proposed GRZ of the 'split' lots.</p> <p>Water: There is an existing water main along Church St, and upgrade works are not forecast for the general area in the in 50yr 2023 growth model (TRIM231206196571). It is considered there will be sufficient capacity to accept future WW demand from the proposed GRZ of the limited number of 'split' lots.</p> <p>STORMWATER SERVICING IS A MAJOR CHALLENGE, AND ACCESS WOULD NEED TO BE PLANNED PROPERLY. 22 CHURCH STREET HAS SOME OF THE WORST DRAINAGE ISSUES IN THE AREA. THEREFORE REZONING TO GRZ IS NOT SUPPROTED.</p> <p>John Aramowicz - 19 March 2024. Reviewed with Chris Bacon 22/3/24.</p> | Not requested | <p>Presence of low and medium flood hazard across these sites is an overland flow path - stormwater servicing challenge. Historically Oxford land drains across to neighbours, and this will be worsened by development.</p> <p>Engineering <u>do not</u> support rezoning from LLRZ to GRZ:</p> <ul style="list-style-type: none">- 22 Church Street- 24 Church Street- 50B - E Church Street- 60B Church Street <p>due to stormwater management issues and presence of overland flow path. This is one of the worst areas in Oxford for drainage and stormwater issues.</p> <p>Reviewed with Chris Bacon, GC and KS 22/3/24.</p> | Not requested |

**Before the Hearings Panel
At Waimakariri District Council**

Under Schedule 1 of the Resource Management Act 1991

In the matter of the Proposed Waimakariri District Plan

Between **Submitters 175 (63 Harewood Road), Stream 12A**

And **Waimakariri District Council**

Respondent

**Statement of evidence of Mark Gregory on behalf of Waimakariri District
Council, Transportation Planning**

Date: 8th April 2024

INTRODUCTION:

- 1 My full name is Mark Andrew Gregory. I am employed as a Principal Transport Planner at WSP New Zealand.
- 2 I have prepared this statement of evidence on behalf of the Waimakariri District Council (**District Council**) in respect of technical related matters arising from the submissions and further submissions on the Proposed Waimakariri District Plan (**PDP**).
- 3 Specifically, this statement of evidence relates to the matter of Submission 175, seeking rezone of land at 63 Harewood Road, Oxford from rural to General Residential Zone.
- 4 I am authorised to provide this evidence on behalf of the District Council.

QUALIFICATIONS AND EXPERIENCE

- 5 I hold the qualifications of Master of Engineering in Transportation (University of Canterbury, 2016) and BA(Hons) Planning with Transport (University of the West of England, 2007). I am a Chartered Transportation Planning Professional (CTPP).
- 6 I have worked for WSP as a Principal Transport Planner for two years, having previously been employed as a Transport network planner for Christchurch City Council for nine years. I have fifteen years' experience in the Transport Planning and Engineering Field, including considerable experience in preparing and assessing transport assessments, assisting formal hearing processes on multiple occasions and substantial contributions to the Christchurch District Plan Review (2015 – 18).
- 7 I am a Chartered Member of the Institute of Highways and Transportation, as a Chartered Transportation Planning Professional (CTPP). I am the vice chair of the Engineering New Zealand Transport Group national committee, a member of the national committee for

Transportation Modelling and a Board Member of the Trips Database Bureau, since 2017.

CODE OF CONDUCT

- 8 I have read the Code of Conduct for Expert Witnesses set out in the Environment Court's Practice Note 2023. I have complied with the Code of Conduct in preparing my evidence and will continue to comply with it while giving oral evidence before the Environment Court. My qualifications as an expert are set out above. Except where I state I rely on the evidence of another person, I confirm that the issues addressed in this statement of evidence are within my area of expertise, and I have not omitted to consider material facts known to me that might alter or detract from my expressed opinions.

SUMMARY

- 9 My statement of evidence addresses the request made by Geoff Mehrtens, to rezone land from rural to general residential, at the site known as 63 Harewood Road, Oxford.
- 10 The submission does not include an Integrate Transport Assessment (ITA), but considers that the effects of transportation could be addressed at a future subdivision consent stage. The request does provide an indicative Outline Development Plan (ODP).
- 11 I consider that there would be better longer-term outcomes (such as improved transport network connectivity) from considering the site as part of a larger ODP including neighbouring sites.

INVOLVEMENT WITH THE PROPOSED PLAN

- 12 I have been involved in the PDP since December 2023.

SCOPE OF EVIDENCE

- 13 My statement of evidence addresses the following matters:
 - 13.1 Assessment of potential effects arising from submission
 - 13.2 Identifying options for managing or avoiding effects

ASSESSMENT OF SUBMISISON SUPPORTING INFORMATION

- 14 The submission includes an Outline Development Plan (ODP), referred to as 'indicative' (Submission report, paragraph 123).
- 15 The suggested yield of 48 units would, in my opinion, generate approximately 384 vehicle movements per day at a rate of 8 vehicle trips per dwelling.¹ Approximately forty vehicle movements per peak hour could be produced.
- 16 Based on high level analysis of the estimated count data on the surrounding network², there are no capacity constraints. The scope of assessment can be defined as:
 - 16.1 Ensuring safely designed points of access
 - 16.2 Accessibility and connectivity between the site, neighbouring townships, and futures development sites
 - 16.3 An internal ODP network which is safe and provides good levels of service
- 17 Some of the matters, for example, safe access points, could be assessed through subsequent subdivision consents. However, the matter of

¹ NZTA, 2011: Research report 453, 'Trips and Parking related to land use.'

² Using the online tool 'Mobile roads'

connectivity with future development sites might be a matter where better outcomes could be obtained at the current stage of rezoning.

- 18 For completeness, the location of the proposed access road where it adjoins Harewood Road would be better located slightly to the east, where it avoids forming a four-way intersection with the opposite driveway serving the property 56 Harewood Road. Improving this outcome via an alternative ODP layout would achieve objectives of the WDC Engineering Code of Practice (Part 8 Rooding), clause 8.8.2, which prefers developments to avoid four-arm intersection arrangement for reasons of safety.
- 19 The proposed rezoning invites consideration of connectivity, and how the layout of a future rezoned site will support ease and choice in movements. The ODP does include an indicative east -west connection with the much larger site, 1 Harewood Road. However, if developed in the form shown, the resulting length of the block (measured along the eastern perimeter between Harewood Road and the suggested local road alignment) would be 300 m in length.
- 20 I have annotated the ODP, shown in Figure 1. I acknowledge again it is indicative and not intended to represent a formal design outcome. However, it may be useful to highlight it to suggest some of the network issues I refer to.
- 21 Firstly, to avoid the 300 m block I mention above in paragraph 19, an additional east – west connection could be considered.
- 22 Secondly, Figure 1 illustrates my point in paragraph 18 regarding configuration of the access with the adjoining network. Also, the frontage road is signed as 100k m/h (the 50 km/h starts 300 m to the west). This would be inappropriate for residential accesses, particularly smaller lot sizes where vehicles may also reverse out of site.

23 Thirdly, there is an increasing reliance on rights of way, rather than use of roads, to provide access. Provision is made for this in the Operative District Plan (Chapter 30, Utilities and Traffic Management - Rules) which provides instances where accessway are managed - for example making provisions for 3 – 6 dwellings to be accessed via a right of way, including the required width (Table 30.3), and specifies the outcome of common ownership (30.6.1.15). However, over use of rights of way could equate to reduction in levels of service and specific safety issues elaborated on below.



Figure 1: My annotation of the indicative ODP, shown in red with text boxes

24 Private accessways generally operate as shared areas, and tend not to enjoy amenities comparable to a road environment, such as planting which can improve the quality of the environment by providing shade, visible amenity, and other benefits associated with psychological health and wellbeing. There is also a demonstrable hazard associated with children in conflict with vehicles on shared accessways, and specific

design outcomes identified to avoid this outcome, including avoiding the overreliance of private accessways in subdivision design³.

- 25 Furthermore, accessways are not vested in Council, meaning that upkeep and maintenance will be required of the community. An example of managing this issue within the Christchurch City Council Infrastructure Design Standard (IDS Part 8, Roading), section 8.12 recommends a balance of the 'long term maintenance costs for the residents against the benefits of providing access through a vested road.'
- 26 In my opinion, this balance ought to be considered within the District Plan Review. I acknowledge this access is a much consideration than responding to this Individual submission.

CONCLUSION

- 27 In my opinion, the site represents part of a much larger area of the south of Oxford which could be expected to become a significant urban extension. As such, in order to realise optimal network connectivity outcomes, a cohesive ODP might be preferred, which covers the surrounding sites, particularly 1 Harewood Road.
- 28 The concept ODP offered would limit this outcome. There are also specific technical issues which would require addressing, such as the configuration of the main access road (to avoid a four-arm intersection), and avoidance of driveways onto a high-speed road.
- 29 Harewood Road itself would likely require modification in its design (e.g. widening) or operating speed limit in order to best support a new residential area. The planning of this transport outcome would be best

³ Safekids New Zealand (2011) Safekids New Zealand position paper: Child driveway run over injuries. Auckland: Safekids New Zealand.

undertaken in response to a broader development plan for the surrounding area.

- 30 I do not believe some of these matters would be effectively managed through a subsequent subdivision process.
- 31 I therefore recommend that the rezoning be considered in light of an ODP which includes the neighbouring sites, achieving safe and connected outcomes and supported with an Integrated Transportation Assessment.

Date: 08/04/2024

A handwritten signature in black ink, consisting of stylized, overlapping loops and a long horizontal stroke extending to the right.

.....

Appendix D. Oxford Housing Capacity and Demand Assessment



Memo

To: Rachel McClung, Principal Policy Planner, Development Unit, Waimakariri District Council
From: Rodney Yeoman, Director
Date: 8 March 2024
Re: Capacity and Demand at Oxford

The purpose of this memo is to provide advice on the residential capacity and demand for dwellings in Oxford. Waimakariri District Council (WDC) will use this memo to inform their decisions around submissions made on the proposed District Plan.

1 Introduction

Oxford is located outside of the Urban Environment which means that it is not covered by the implementation requirements of the National Policy Statement on Urban Development (NPS-UD). Also, Oxford is not subject to Variation 1 Housing Intensification, and as such is not discussed in our economic report.¹ The following memo provides an assessment of the demand and capacity outcomes for Oxford.

2 Oxford Demand

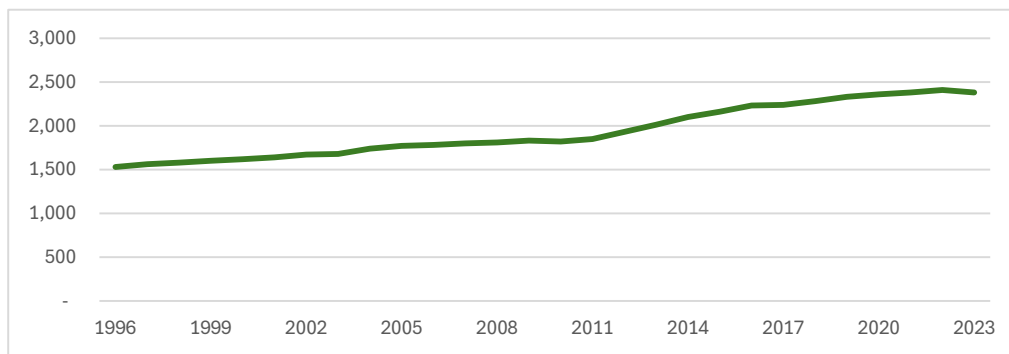
Oxford is the largest settlement located outside of the Urban Environment, with a population of 2,380 people in 2023.² The population of the settlement has grown relatively slowly compared to the Urban Environment, with an average growth rate of 1.6% per annum since 1996 which is half the level observed in the Urban Environment. Over this period the settlement's population grew by around 30 new residents per annum.

¹ Formative (2023) Waimakariri Residential Capacity and Demand Model – IPI 2023 Economic Assessment.

² Statistics New Zealand (2023) Population Estimates.



Figure 2-1: Oxford Population 1996-2023

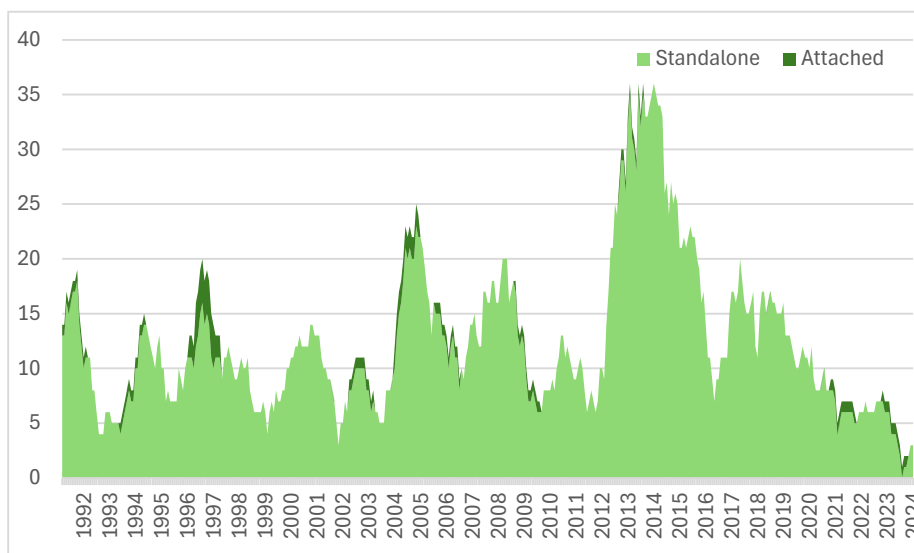


2.1 Historic Dwelling

Over the last three decades the number of new dwellings consented in Oxford averaged 12 per annum.³ There was a significant peak in 2013-2014 with 35 new dwellings consented per annum, which may well have been related to the earthquakes. Over the last decade the number of new dwellings consented has declined from that peak and has now reached a record low of 3 dwellings per annum over the last 12 months. In the 90s the settlement accommodated around 5-6% of all new dwelling consents in the District, which compares to less than 0.5% over the last 12 months.

Also, most of the new dwelling consents have been focused on standalone dwellings, with only a small number of attached dwellings being consented in Oxford (less than 4% of the total, and amounting to only one or two consents for attached dwellings a year). In the last year there was no attached housing consented in Oxford.

Figure 2-2: Oxford New Dwelling Consents Standalone and Attached - 1991-2024



³ Statistics New Zealand (2023) New Dwelling Building Consents.



We have reviewed the dwelling sales prices and rents for the last three decades within Oxford and the District, which shows that the prices and rents in the settlement have been consistently lower than the rest of the District.⁴ This data indicates that the demand situation in the settlement is not constrained, relative to the rest of the District.

We consider that the dwelling data shows a clear picture for Oxford:

- ❖ relatively low demand for housing.
- ❖ limited demand for attached dwellings.
- ❖ No apparent constraints.

2.2 Projected Dwellings

- ❖ For the most part the demand for dwellings in Oxford will be driven by growth in population. Figure 2-3 Medium projection has an increase of nearly 15 people per annum over the coming 30 years, reaching 2,860 in 2053.
- ❖ Low projection has an increase of less than 2 people per annum over the coming 30 years, reaching 2,430 in 2053.

For Oxford we consider that it is sensible for the Council to plan for population growth to be within the High to Medium range. First, we note that in the past that Oxford's population grew by around 30 people per annum over the last three decades, and by 20 people per annum in the last five years. Based on these historic trends, growth can be expected to be within the range shown by the High and Medium projection. Second, we acknowledge that the Council has elected to plan for the high growth projection for the Urban Environment. This means that the Council will be providing a significant amount of development capacity in the Urban Environment. This increase in capacity in the Urban Environment is likely to accommodate most of the demand for dwellings in the District, and could result in a low share of demand being attracted to Oxford.

Figure 2-3 shows the three projections that were developed by Formative for WDC.⁵ These growth projections suggest:

- ❖ High projection has an increase of nearly 30 people per annum over the coming 30 years, reaching 3,310 in 2053.
- ❖ Medium projection has an increase of nearly 15 people per annum over the coming 30 years, reaching 2,860 in 2053.

⁴ Ministry of Housing and Urban Development (2024) urban development Dashboard.

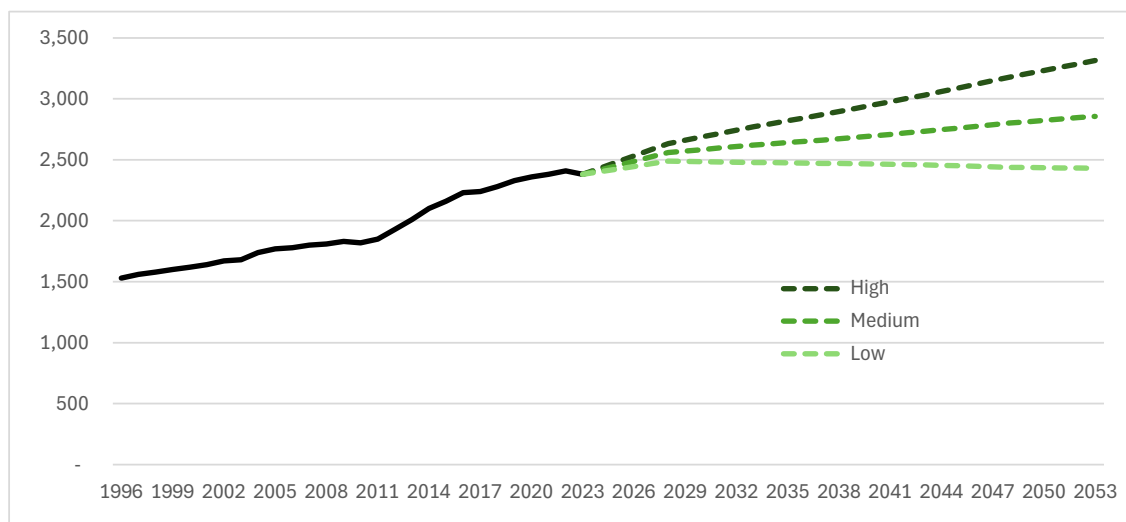
⁵ Formative (2023) Population Projections.



- ❖ Low projection has an increase of less than 2 people per annum over the coming 30 years, reaching 2,430 in 2053.

For Oxford we consider that it is sensible for the Council to plan for population growth to be within the High to Medium range. First, we note that in the past that Oxford’s population grew by around 30 people per annum over the last three decades, and by 20 people per annum in the last five years. Based on these historic trends, growth can be expected to be within the range shown by the High and Medium projection. Second, we acknowledge that the Council has elected to plan for the high growth projection for the Urban Environment. This means that the Council will be providing a significant amount of development capacity in the Urban Environment.⁶ This increase in capacity in the Urban Environment is likely to accommodate most of the demand for dwellings in the District, and could result in a low share of demand being attracted to Oxford.

Figure 2-3: Oxford Population Projections – 2023-2053



While there is always uncertainty associated with projecting the future, we consider on balance that the Medium or High Projection be adopted. For the remainder of this memo we consider these two projections.

The population projections are converted to households and dwellings via the process that is described in our economic assessment.⁷ Broadly, the number of households is estimated by converting the population by age cohort group into families and households using living arrangement propensities from the Census⁸ and household formation rates⁹. The resulting households are used to

⁶ Rangiora, Kaiapoi, Woodend, Pegasus, and Ravenswood.

⁷ Formative (2023) Waimakariri Residential Capacity and Demand Model – IPI 2023 Economic Assessment.

⁸ Statistics New Zealand (2022) Family and household projections - Living Arrangement Type Rates.

⁹ Statistics New Zealand (2022) Family and household projections - Average Family per Household Rates.



establish the number of dwellings, both occupied and unoccupied, again based on utilisation recorded in the Census.¹⁰ Figure 2-4 shows the resulting new dwelling demand for each of the projections:

- ❖ **Short-medium term (10 years):** the new dwelling demand is projected to sit within the range of 81 (Medium) to 109 (High). Most of the demand will be for standalone (over 90%), with very little demand for attached dwellings (less than 10 dwellings in ten years). The projections suggest a demand for new dwellings of 8 (Medium) to 11 (High) per annum. This level of demand is broadly consistent with historic rates of new dwelling consents (Figure 2-2), but much higher than the levels seen in recent consents.
- ❖ **Long term (30 Years):** the new dwelling demand is projected to sit within the range of 172 (Medium) to 264 (High). Most of the demand will be for standalone (over 90%), with very little demand for attached dwellings (less than 30 dwellings in the 30 years). The projections suggest a demand for new dwellings of 6 (Medium) to 9 (High) per annum.

Figure 2-4: Oxford New Dwelling Demand Short-Medium and Long Term

| Short-Medium (2023-33) | | |
|------------------------|------------|------------|
| Projection | Medium | High |
| Standalone | 73 | 100 |
| Attached | 8 | 9 |
| Total | 81 | 109 |
| Per Annum | 8 | 11 |
| Long (2023-53) | | |
| Projection | Medium | High |
| Standalone | 158 | 242 |
| Attached | 14 | 22 |
| Total | 172 | 264 |
| Per Annum | 6 | 9 |

The NPS-UD requires Councils to include a competitiveness margin on top of the expected demand for the Urban Environment.¹¹ While Oxford is not within the Urban Environment we consider that it would be conservative to adopt the same margins. Including the competitiveness margin the new dwellings required in the Short-medium term would be in the range of 97 (Medium) to 131 (High) and for the Long term in the range of 202 (Medium) to 309 (High).

¹⁰ Statistics New Zealand (2022) Census 2018 Occupied dwellings and unoccupied dwellings.

¹¹ The NPS-UD competitiveness margin is set as 20% for Short-Medium term and 15% for the Long term.



Figure 2-5: Oxford New Dwelling Demand + Margin Short-Medium and Long Term

| Demand +Margin | Short-Medium (2023-33) | Long (2023-53) |
|----------------|---------------------------|-------------------|
| Medium | 97 | 202 |
| High | 131 | 309 |

3 Oxford Capacity

The Waimakariri Capacity for Growth Model (WCGM) estimates the amount of capacity within the urban zones of the District, which includes Oxford. We note that the NPS-UD only requires councils to assess capacity within the Urban Environment, which excludes Oxford. However, WDC commissioned the model to include all urban areas, including those outside the Urban Environment. The WCGM adopts the same approach as required under the NPS-UD to assess capacity for the non-Urban Environment areas.

Specifically, the NPS-UD requires an assessment of capacity in terms of “plan-enabled, infrastructure-ready, and feasible and reasonably expected to be realised”. For Oxford this assessment shows that there is plan-enabled and infrastructure-ready capacity of 544 new dwellings. The WCGM estimates feasible and reasonably expected to be realised capacity of 257 in the short-medium term and 368 in the long term.

Figure 3-1: Oxford New Dwelling Capacity (NPS-UD Assessment Method)

| Development capacity | Plan Enabled Infrastructure Ready | Feasible and reasonably expected to be realised | |
|-------------------------|---|--|------------|
| | | Short-medium | Long |
| Small (4 or under) | 314 | 163 | 180 |
| Large (Over 5) | 230 | 94 | 188 |
| Total | 544 | 257 | 368 |
| Share large | 42% | 37% | 51% |

Most of this capacity is small scale infill subdivision which yields 1-4 additional dwellings, with lot sizes of 500 to 600m². There are twelve larger sites that are estimated to have capacity of 5 or more dwellings, which represent less than 42% of plan-enabled and infrastructure-ready capacity, 37% of the short-medium term capacity and 51% of the long term capacity. The share of Oxford’s capacity that is on larger (greenfield) sites is much lower than the towns in the Urban Environment.

Given the nature of Oxford within the context of the district, and the very limited infill development that has occurred in Oxford to date, we would expect that a large share of future demand in the settlement would be expected to be accommodated in large (greenfield) developments, and only a small share will be accommodated via infill. That is, there should not be too much reliance on infill capacity to accommodate future dwelling demand.



4 Oxford Sufficiency

The settlement level results show that there is sufficient capacity to meet the expected demand in Oxford in both the short-medium and long terms. Applying the NPS-UD assessment method there is sufficient supply of 126 remaining in the short-medium and 59 in the long term.

Figure 4-1: Oxford NPS-UD Sufficiency – Demand + Margin and Supply

| NPS-UD Test | Short-Medium (2023-33) | Long (2023-53) |
|----------------------|---------------------------|-------------------|
| Demand (High+Margin) | 131 | 309 |
| Supply (Feasible) | 257 | 368 |
| Sufficiency | 126 | 59 |

However, as discussed above most of the capacity in Oxford is located within small scale infill developments. The WCGM suggests that there is more than sufficient capacity provided for within the existing urban areas.

Relative to the short-medium and long term demand there is a small capacity of large (greenfield) development, and the WCGM suggests that there may not be sufficient capacity in Oxford's new urban areas. This will mean that much of the demand for Oxford would need to be accommodated by infill development, which represents a shift from how dwellings have been developed in the settlement in the past.

We consider that it would be reasonable to provide some more opportunities for large scale development in Oxford, which would mean that less of the infill will be required. This could be either via new urban land being provided for General Residential Zone or by upzoning some of the Large Lot Residential Zone to General Residential Zone. It would be prudent to consider providing additional capacity for 40 dwellings in large scale development (as opposed to infill development) General Residential Zone to meet short-medium term demands.¹² There may also be a need for more capacity in the long term, however there is time to address this issue in the future if the need arises.

5 Conclusions

In conclusion, we consider that at the settlement level there is sufficient capacity in Oxford to meet expected demands, both in the short-medium and long terms. The assessment applies NPS-UD requirements, which are more onerous than would normally be required for a settlement outside the Urban Environment.

¹² i.e. high growth (+Margin) of 131 less capacity in large developments (131-94=37).



However, we consider that this approach is acceptable and that it does highlight the potential mismatch between supply of greenfield or large developments in Oxford, as compared to the scale of demand. It would be prudent to consider providing additional capacity for 40 dwellings in large scale development (as opposed to infill development), either via new urban land being provided for General Residential Zone or by upzoning some of the Large Lot Residential Zone to General Residential Zone. This would mean that all of the demand in the short-medium could be accommodated in large developments, and only a small share of infill would be needed.

This additional provision of capacity would not have a material impact on the outcomes in the rest of the District, but would ensure that there is ample opportunity for different types of development within Oxford.

We recognise that the NPS-UD represents a minimum threshold and that councils can provide more capacity than the bare minimum that is required. In Waimakariri it is likely that there will be a large increase in capacity provided in the Urban Environment which could result in lower demand for Oxford and the other settlements in the rest of the District.

Moreover, we acknowledge the National Policy Statement on Highly Productive Land requires the minimum level of Highly Productive Land (HPL) be used for urban activities. Oxford is surrounded by HPL, with LUC2 land to the north-west and LUC3 land to the west, south and east. If additional land is to be converted to urban zones, then the costs and benefits of this outcome would need to be considered.

Rodney Yeoman

Director

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e rodney@formative.co.nz

**Appendix E. Joint Witness Statement (Planning) - Geoff Mehrtens
[175.1], 63 Harewood Rd, Oxford**

**Before the Hearings Panel
At Waimakariri District Council**

Under the Resource Management Act 1991

In the matter of the Proposed Waimakariri District Plan

**Joint Witness Statement (Planning) – Geoff Mehrtens [175.1] - 63
Harewood Rd, Oxford**

Date: 3 April 2024

INTRODUCTION:

- 1 This Joint Witness Statement (JWS) relates to expert conferencing on 26 March and 3 April 2024.
- 2 The following participants were involved in this conferencing and authored this JWS:
 - (a) Ms Claire McKeever – representing Geoff Mehrtens [175.1], and
 - (b) Ms Rachel McClung – representing Waimakariri District Council (District Council).
- 3 A meeting between experts was held on 26th March 2024 online, and further discussions about Council’s Engineering and Reserve advice have been held on 3 April 2024. This JWS has resulted from the meeting and discussions.
- 4 In preparing this statement, the experts have read and understand the Code of Conduct for Expert Witnesses as included in the Environment Court of New Zealand Practice Note 2023¹.

PURPOSE AND SCOPE OF CONFERENCING:

- 5 The conferencing was focused on narrowing the areas of contention as directed in Minute 20, dated 27 February 2024. The matters addressed in conferencing were the assessment of the following in relation to the rezoning request of Geoff Mehrtens [175.1]:
 - a) the National Policy Statement for Highly Productive Land 2022 (NPS HPL)
 - b) the objectives and policies of the Proposed District Plan
 - c) Consideration of Council’s Engineering and Reserve Advice
 - d) The proposed area specific matters for insertion in the Proposed District Plan

¹ <https://www.environmentcourt.govt.nz/assets/Practice-Note-2023-.pdf>

- 6 We concur with all other aspects of the s32AA as provided with the original submission.

ACTIONS TAKEN:

- 7 In addition to the original submission materials, we have both read the following:
- a) Capacity and Demand at Oxford Memorandum from Rodney Yeoman, dated 8 March 2024
 - b) Council's Engineering and Reserve Advice for the PDP Review

MATTERS THAT THE EXPERTS AGREE ON:

- 8 Both Ms McKeever and Ms McClung agree that the progression of the planning framework since the original planning assessment was undertaken in November 2021 requires addressing. Since this time the National Policy Statement for Highly Productive Land (NPS HPL) has been gazetted, and some of the relevant objectives and policies of the Proposed District Plan (PDP) which were assessed in the original s32AA that supported the submission have been advanced through the PDP hearings.
- 9 Our consideration of these matters, and conclusions, are below.

National Policy Statement for Highly Productive Land 2022 (NPS HPL)

- 10 An assessment of the draft NPS HPL was provided with the submission in 2021. This assessment relies on the site being excluded from consideration under the draft NPS HPL because it is less than 4 hectares in area. However, this exclusion did not survive to the final version of the NPS HPL that was gazetted in 2022. We have undertaken the below assessment against the NPS HPL.
- 11 Pursuant to section 3.6 of the NPS HPL, there are restrictions on urban rezoning of highly productive land. However, firstly, it needs to be determined if the subject site is 'highly productive land' (HPL), and then

if it is HPL, secondly, if the tests of 3.6 can be met to allow urban rezoning.

Is the subject site HPL?

12 Section 3.5 (7) sets out that:

Until a regional policy statement containing maps of highly productive land in the region is operative, each relevant territorial authority and consent authority must apply this National Policy Statement as if references to highly productive land were references to land that, at the commencement date:

(a) is

(i) zoned general rural or rural production; and

(ii) LUC 1, 2, or 3 land; but

(b) is not:

(i) identified for future urban development; or

(ii) subject to a Council initiated, or an adopted, notified plan change to rezone it from general rural or rural production to urban or rural lifestyle.

13 The Canterbury Regional Policy Statement does not contain maps of HPL.

14 The subject site (63 Harewood Road) is zoned Rural in the Operative Waimakariri District Plan and General Rural in the Proposed District Plan and contains Class 3 soils, as shown in Figure 1 below. Therefore meeting (a)(i) and (ii). However, if either (b) (i) or (ii) can be met, then the land is excluded from being HPL.



Figure 1: LUC 1,2 and 3 soils across 63 Harewood Road, Oxford (source WAIMAP)

15 The land is not subject to Council initiated rezoning as described in (b)(ii), and therefore does not meet that exclusion test. However, the Waimakariri District Development Strategy (WDDS) does identify long term² future residential growth to the south of Oxford, therefore the exclusion as described in (b)(i) is a possibility.

16 Therefore, the next consideration is to determine if the tests within the definition of 'identified for future development' are met, before it can be determined if (b)(i) is met.

17 The NPS HPL defines³ '*identified for future development*' as follows:

identified for future urban development means:

(a) identified in a published Future Development Strategy as land suitable for commencing urban development over the next 10 years; or

(b) identified:

(i) in a strategic planning document as an area suitable for commencing urban development over the next 10 years; and

(ii) at a level of detail that makes the boundaries of the area identifiable in practice

18 The WDDS is a strategic planning document adopted by Council by resolution at their 3 April 2018 meeting. Therefore, clause (b) of the

² NPS – UD 2022, Long term means between 10 and 30 years

³ NPS HPL, Section 1.3 Interpretation

definition above contains the appropriate test to determine if the subject site is 'identified for future urban development'.

- 19 The subject site was identified for long term future residential growth (being growth in 10 to 30 years) when the WDDS was published in 2018. This can be seen in Figure 2 below.



Figure 2 – Location of 53 Harewood Rd (red oval) on WDDS Oxford proposed growth map

- 20 The 'long term' was the years 2028-2048. 2028 - 2048 is now four to 16 years away, and it could be argued to be within the 'over the next 10 years' timeframe and meeting (b)(i) of the definition above. Given that the subject site adjoins the current urban area, it would be logical that development of this land would be sequenced early in that time period. we therefore conclude that the subject site meets (b)(i).
- 21 The second component of the definition test is 'can the subject land be identified at a level of detail that makes the boundaries of the area identifiable in practice?' While the proposed residential growth direction is shown by arrows, we consider that it is clear that this particular land is identified for future residential development, as the arrow is directly

over the subject site. We acknowledge that where the future development boundary may end is unclear. However, the subject site is the only land in question in relation to residential rezoning outside the current residential area at Oxford in this location. Therefore, where the future development boundary may end is not in question for this process. We conclude that the subject site meets (b)(ii).

- 22 Therefore, we conclude that the subject site is identified for future urban development in the WDDS and meets the exclusion test of Section 3.5 (7) (b)(i). The subject site is not HPL and no further consideration of the NPS HPL is required (including assessment of section 3.6).

Objectives and policies of the Proposed District Plan

- 23 Both Ms McKeever and Ms McClung acknowledge that an assessment of the relevant objectives and policies of the PDP was provided with the submission⁴. The assessment was against the relevant objectives and policies in the PDP as notified. This included assessment against:

- (a) SD-O1 to SD-O6
- (b) UFD-O1 and UFD-P2
- (c) SUB-P1 to SUB-P6, SUB-P8 and SUB-P9
- (d) RESZ-O1, REZ-O3, RESZ-P3 and RESZ-P8
- (e) GRA-O1, GRZ-P1 and GRZ-P2

- 24 We agree the above listed objectives and policies are relevant for consideration and concur with the assessment of them against the PDP as notified. However, the SD and UFD objectives and policies have been progressed through hearings and therefore it is our view that consideration of any recommended changes to those objectives and policies in the right of reply versions would aid decision-making.

- 25 For ease of reference, we have included the relevant SD and UFD objectives and policies (as recommended to be amended within the right

⁴ Section 5.5 of the Section 32AA Planning Assessment provided with the submission.

of reply) within Appendix 1 below. Changes are recommended to all expect SD-O5.

- 26 We have considered the assessment of the objectives and policies against the recommended changes and concluded that the changes do not impact the assessment or the conclusions.

Consideration of Council's Engineering and Reserves Advice

- 27 We have considered the Council specialist assessments of the submission in relation to Transport, Servicing, Geotech, Natural Hazards and Greenspace considerations. We have concluded that the advice provided does not impact our joint assessment or conclusions on the submission.
- 28 We acknowledge Servicing, Geotech, Natural Hazard and Greenspace advice does not raise any constraint to rezoning, rather they identify site specific matters that we consider will be appropriately addressed at subdivision design and resource consent stage. These matters include such things as wastewater and water upgrade requirements and overland flow path locations to be designed for.
- 29 We acknowledge that the Greenspace advice identifies a need for a neighbourhood park in the area to the east of the submission site. While this is not in scope of this submission to provide it on the adjoining site, wider site design and integration with adjoining blocks must be considered at subdivision and resource consent stage for this site. It is noted that a subsequent plan change could address the entirety of the south Oxford area as identified in the Waimakariri District Development Strategy in the longer term. We note there is no submission requesting the rezoning of the land to the east of the submission site.
- 30 In regard to transportation comments, we consider the advice to be at a level of detail that is relevant to subdivision, in particular on an indicative diagram, rather than an assessment of the merits of the proposed Outline Development Plan (ODP). For example the extent or number of rear allotments is a matter for design and approval at subdivision stage.

- 31 In addition, we have considered the proposed location of the east-west road link shown on the ODP. It appears to provide connection to adjoining land that does not conflict with existing hospital buildings. We consider that it provides connectivity to both adjoining blocks while not limiting potential for future plan changes for rezoning.
- 32 In respect of safety impacts, we consider the assessment to be incorrect in regard to intersection spacing, as the entrance on the south side of Harewood Road is a private driveway, not a legal road. This does not cause conflict with the proposed intersection location on the ODP.

The proposed area specific matters for insertion in the Proposed District Plan

- 33 The submission requested the insertion of a proposed Outline Development Plan, however did not specifically suggest other provisions.
- 34 We propose agreed recommended changes as included as Appendix B “Part 3 – Area Specific matters / Wāhanga waihanga – Development Areas / Existing Development Areas”.
- 35 The site is proposed to be included as an “Existing Development Area” with the recommended acceptance of the submission for rezoning, similar to other previously approved “Existing Development Areas” such as Southbelt and Northwest Rangiora.

MATTERS THAT THE EXPERTS DISAGREE ON:

- 36 There are no matters of disagreement.

Date: 3 April 2024

Signatories



.....

Ms Claire McKeever – Principal Resource Management Planner



.....

Ms Rachel McClung – Principal Policy Planner

Appendix A. Further assessment of relevant PDP objectives and policies

The Proposed Waimakariri District Plan (PDP) was publicly notified for consultation on 18 September 2021.

The objectives and policies in the PDP were considered within the original assessment submitted with the rezoning submission.

Changes that have been recommended to the PDP through Planner rights of reply have been reconsidered for the Joint Witness Statement as follows:

| Revised Objectives and Policies (as put forward in S42A Right of Reply by WDC for Strategic Directions and Urban Form and Development) | Original Assessment of rezoning 63 Harewood Road | Objective /Policy Change | Joint Witness Assessment |
|---|---|---|--|
| <p>SD-O1 Natural Environment</p> <p>Across the District:</p> <ol style="list-style-type: none"> 1. there is an overall net gain in the quality and quantity of indigenous ecosystems and habitat, and indigenous biodiversity <u>and significant indigenous vegetation and habitats are protected</u>; 2. the natural character of the coastal environment, freshwater bodies and wetlands is preserved or enhanced, or restored where degradation has occurred; 3. outstanding natural features and outstanding natural landscapes are identified and their values recognised and protected; | <p>The site is not in an area of natural character or has indigenous ecosystems or indigenous biodiversity. The indicative stormwater reserve will provide access to green space within the proposed ODP site. Whilst this area cannot technically be vested as recreation reserve, it will still provide public green space within close proximity to the proposed future residential development.</p> | <p>Small amendments to include reference to significant indigenous vegetation and habitats, and te Mana o te Wai.</p> | <p>No change fundamentally for the site in the assessment in respect of significant indigenous vegetation (as there is none) and habitats.</p> <p>Note the change to add sub-clause 6 also does not change the assessment as there are no sources of freshwater on the site, however we are comfortable that Te Mana o te Wai can be addressed in all appropriate forums for the site (including Regional consents</p> |

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| <ol style="list-style-type: none"> 4. people have access to a network of natural areas for open space and recreation, conservation and education, including within riparian areas, the coastal environment, the western ranges, and within urban environments; and 5. land and water resources are managed through an integrated approach which recognises the importance of ki uta ki tai to Ngāi Tahu and the wider community, and the inter-relationships between ecosystems, natural processes and with freshwater; <u>and</u> 6. <u>the mauri of ecosystems and indigenous biodiversity is safeguarded and freshwater is managed in a way that gives effect to Te Mana o te Wai. [192.29]</u> | <p>The proposal will be consistent with the relevant aspects of SD-O1.</p> | | <p>and permits for construction when necessary. We agree that the rezoning is consistent with the revised objective also.</p> |
| <p>SD-O2 Urban Development</p> <p>Urban development and infrastructure that:</p> <ol style="list-style-type: none"> 1. is consolidated and integrated with the <u>well functioning urban environment centres</u>; 2. that recognises existing character, <u>planned urban form and amenity</u> values, and is attractive and functional to residents, businesses and visitors; 3. utilises the District Council’s reticulated wastewater system, and potable water supply and stormwater infrastructure where available; 4. provides a range of housing opportunities, focusing new residential activity within existing towns, and | <p>The proposed rezoning and ODP is consistent with Strategic Direction Objective 2.</p> <p>The proposed rezoning will provide a consolidated and integrated urban environment that recognises the rural character of Oxford and is attractive to future and existing residents.</p> <p>The proposed future development will utilise the Council’s wastewater and water supply infrastructure, with</p> | <p>Small amendments proposed</p> | <p>We consider that the rezoning is consistent with the Waimakariri District Development Strategy is a strategic planning document adopted by Council on 3 April 2018 in regard to Oxford’s future urban form. The rezoning continues therefore to be consistent with the proposed objective wording.</p> |

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| <p>identified development areas in Rangiora and Kaiapoi, in order to achieve the housing bottom lines in UFD-O1;</p> <p>5. supports a hierarchy of urban centres, with the District's main centres in Rangiora, Kaiapoi, Oxford and Woodend being:</p> <ul style="list-style-type: none"> a. the primary centres for community facilities; b. the primary focus for retail, office and other commercial activity; and c. the focus around which residential development and intensification can occur. <p>6. provides opportunities for business activities to establish and prosper within a network of business and industrial areas zoned appropriate to their type and scale of activity and which support district self-sufficiency;</p> <p>7. provides people with access to a network of spaces within urban environments for open space and recreation;</p> <p>8. supports the transition of the Special Purpose Zone (Kāinga Nohoanga) to a unique mixture of urban and rural activities reflecting the aspirations of Te Ngāi Tūāhuriri Rūnanga;</p> <p>9. provides limited opportunities for Large Lot Residential development in identified areas, subject to adequate infrastructure; and</p> <p>10. recognise and support Ngāi Tūāhuriri cultural values through the protection of sites and areas of significance to Māori identified in SASM-SCHED1.</p> | <p>stormwater discharge to ground.</p> <p>The proposed rezoning will provide a range of housing opportunities within the existing town of Oxford which will contribute to achieving the housing bottom lines in UFD-O1. The proposed rezoning will support the urban centres hierarchy by focusing the residential development within the main centre of Oxford.</p> <p>The proposed ODP will provide people access areas of open space and recreation.</p> <p>This submission is not proposing business or industrial zoned areas, nor is it the transition of the Kāinga Nohoanga zone.</p> | | |
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| <p>SD-O4 Rural land <u>and environment</u></p> <p>Outside of identified residential development areas and the Special Purpose Zone (Kāinga Nohoanga), rural land is managed to ensure that it remains available for productive rural activities by:</p> <ol style="list-style-type: none"> 1. providing for rural <u>primary production activities</u>, activities that directly support rural production activities <u>rural industry</u> and activities reliant on the natural resources of Rural Zones and limit other activities; and 2. ensuring that within rural areas the establishment and operation of rural <u>primary production activities</u> are not limited by new incompatible sensitive activities. | <p>The site is currently proposed to be zoned General Rural Zone which has a minimum allotment area of 20 hectares and the objective of primary production. However, this site is 3.5 hectares and not used for primary production so does not meet the requirements of a rural allotment.</p> <p>This submission is to rezone the land to General Residential Zone, therefore meaning that the rural land will be converted to residential. The property is currently not being used for high production rural activities and is identified in the strategic plan as a location for future residential growth, so a loss of rural productive land has already been anticipated.</p> | <p>Small changes proposed to objective about 'primary production'</p> | <p>No change to original assessment given site location and current use (is not used for primary production or rural industry).</p> |
| <p>SD-O6 Natural hazards and resilience</p> <p>The District responds to natural hazard risk, including increased risk as a result of climate change, through:</p> <ol style="list-style-type: none"> 1. avoiding subdivision, use and development where the risk is unacceptable; and | <p>The site is not in an area with unacceptable risk from natural hazard or other hazards. Therefore, the proposed rezoning is consistent with SD-O6.</p> | <p>Small change to the objective.</p> | <p>No change to the original assessment as no strategic, critical or regionally significant infrastructure is proposed or required for the site/township.</p> |

| <p>2. mitigating other natural hazard risks; and</p> <p>3. <u>Ensuring strategic, critical, and regionally significant infrastructure is only located within areas of significant natural hazard risk where there is no reasonable alternative and the infrastructure is designed so as not to exacerbate natural hazard risk to people and property.</u></p> | | | | | | | | | | | |
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| <p>UFD-O1</p> <p>Feasible development capacity for residential activities.</p> <p><u>At least Ssufficient</u> feasible development capacity for residential activity to meet specified housing bottom lines and a changing demographic profile of the District as follows:</p> <table border="1" data-bbox="136 879 795 1299"> <tr> <th data-bbox="136 879 331 1038">Term</th><th data-bbox="331 879 488 1038">2018-2028</th><th data-bbox="488 879 640 1038">2028-2048</th><th data-bbox="640 879 795 1038">2018-2048</th></tr> <tr> <td data-bbox="136 1038 331 1299">Housing bottom lines (development capacity)</td><td data-bbox="331 1038 488 1299">6,300 <u>5,100</u> residential units</td><td data-bbox="488 1038 640 1299">7,100 <u>7,400</u> residential units</td><td data-bbox="640 1038 795 1299">13,400 <u>12,500</u> residential units</td></tr> </table> | Term | 2018-2028 | 2028-2048 | 2018-2048 | Housing bottom lines (development capacity) | 6,300 <u>5,100</u> residential units | 7,100 <u>7,400</u> residential units | 13,400 <u>12,500</u> residential units | <p>The proposed rezoning would enable approximately 48 residential allotments, which would contribute to the housing capacity in Waimakariri to achieve the housing bottom lines in UFD-O1.</p> | <p>Small amendments to the number of numbers of housing bottom line numbers and reference to “At least” sufficient capacity.</p> | <p>We note the memo from Rodney Yeoman identifies providing additional capacity for 40 dwellings in a large scale development as opposed to infill to meet short to medium demands.</p> <p>The rezoning proposal presents as a large scale (greenfield) opportunity for Oxford and therefore is consistent with Mr Yeoman’s conclusion and therefore we consider it continues to be consistent with the proposed objective on this basis.</p> |
| Term | 2018-2028 | 2028-2048 | 2018-2048 | | | | | | | | |
| Housing bottom lines (development capacity) | 6,300 <u>5,100</u> residential units | 7,100 <u>7,400</u> residential units | 13,400 <u>12,500</u> residential units | | | | | | | | |

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| <p>UFD-P2 Identification/location of new Residential Development Areas</p> <p>In relation to the identification/location of residential development areas:</p> <ol style="list-style-type: none"> 1. residential development in new Residential Development Areas at Kaiapoi, North East Rangiora, South East Rangiora and West Rangiora is located to implement the urban form identified in the Future Development Strategy; 2. for new Residential Development Areas, other than those identified by (1) above, avoid residential development unless located so that they; <ol style="list-style-type: none"> a. occur in a form that concentrates, or are <u>integrated with attached to</u>, an existing urban <u>environment centres</u> and promotes a coordinated pattern of development; b. occur in a manner that makes use of existing and planned transport and three waters infrastructure, or where such infrastructure is not available, upgrades, funds and builds infrastructure as required; c. have good accessibility for all people between <u>to</u> housing, jobs, community services, natural spaces, and open spaces, including by way of public or active transport; | <p>The proposed development and ODP are consistent with UFD-P2 and would represent a new Residential Development Area (South Oxford).</p> <p>The site is south of an existing residential subdivision and the proposed development would be consistent with the urban form of those dwellings.</p> <p>The site is accessed from Harewood Road, which is classified as a local road according to map 137 of the operative District Plan. Harewood Road provides access to Oxford town centre, making the site easily accessible.</p> <p>The site is able to be serviced with reticulated water supply and wastewater once the existing infrastructure has been upgraded as required.</p> <p>The proposed development concentrates residential housing in a suitable location that is close to key activity nodes including the Oxford hospital, local schools, and shops.</p> <p>The proposed rezoning is attached to the existing</p> | <p>Small changes are proposed that require an urban form to be integrated not just attached. Similar to above a further change to refer to urban centre rather than urban environment.</p> | <p>We agree that the rezoning site be named “South East Oxford” Development Area, to be inserted as an ‘Existing Development Area’.</p> <p>We consider that subclause 2 of UFD – P2 is the relevant one for consideration.</p> <p>We agree that the change to refer to ‘integrated’ ‘urban centre’ is appropriate in this context in Oxford. Given this we consider the rezoning to be consistent with the proposed policy amendment.</p> |
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| <ul style="list-style-type: none"> d. concentrate higher density residential housing in locations focusing on activity nodes such as key activity centres, schools, public transport routes and open space; e. take into account the need to provide for intensification of residential development while maintaining appropriate levels of amenity values on surrounding sites and streetscapes; f. are informed through the development of an ODP; g. supports reductions in greenhouse gas emissions; and h. are resilient to natural hazards and the likely current and future effects of climate change as identified in SD-O6. | <p>residential development in Oxford.</p> <p>The site is also in close proximity to Oxford with transport through to Waimakariri and Selwyn.</p> | | |
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Appendix B. Recommended Amendments to PDP

Insert new South Oxford Development Area and ODP, and amend planning map to rezone 3 Harewood Road to GRZ as follows:

Part 3 – Area specific matters / Wāhanga waihanga - Development Areas / Existing Development Areas

SOX - South Oxford Development Area

Introduction

The South Oxford Development Area comprises approximately 3.5ha of land fronting Harewood Road. It is directly to the east of Oxford Hospital. The area is General Residential Zone.

-
The [DEV-SOX-APP1](#) area includes:

- Roading connections through to Harewood [Road](#) and neighbouring land;
- pedestrian/cycle connections (within the road);
- [stormwater](#) treatment area; and
- an identified reserve area.

Activity Rules

| <u>DEV-SOX-R1 Southeast Oxford Development Area Outline Development Plan</u> | |
|---|---|
| <u>Activity status: PER</u> - <u>Where:</u> 1. <u>development shall be in accordance with DEV-SOX-APP1.</u> | <u>Activity status when compliance not achieved: DIS</u> |
| <u>Advisory Note</u> <ul style="list-style-type: none">• <u>For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the provision.</u> | |

Built Form Standards

There are no area-specific built form standards for the South Oxford [ODP](#) area.

Appendix

DEV-SOX-APP1 South Oxford [ODP](#)

Include an ODP to like effect of the below including standardised Council format



Planning Map – Oxford – amend to show 63 Harewood Road, Oxford (identified below) as GRZ and insert ODP layer.



**Appendix F. 131 Main Street, Oxford - RC225255/RC225256
Decision Letter and Approved Plans**

Our Reference: RC225255/RC225256/231026170667
Valuation Reference: 2153228500

31 October 2023

Devcorp Ltd
17 Sir Gil Simpson Drive
CHRISTCHURCH

Attention: M McLachlan

Dear Matt

**DECISION ON RESOURCE CONSENT APPLICATION
GLOVEHORN LIMITED - 131 MAIN STREET OXFORD**

Please find enclosed a copy of the decision reached by the Officer under delegated authority from the Council on the above application.

We also enclose information relating to rights of appeal, lapsing of consent (where applicable), and other legal requirements.

Yours faithfully



Claire McKeever
CONSULTANT PLANNER

Encl

Cc: jake@waghornbuilders.co.nz

WAIMAKARIRI DISTRICT COUNCIL

IN THE MATTER of the Resource Management Act 1991

AND

IN THE MATTER of an application lodged by **Glovehorn Limited** for a resource consent under Section 88 of the aforementioned Act.

APPLICATION

The proposal at 131 Main Street, Oxford, as originally applied for on 8 August 2022 (TRIM 220810136813) by Dev Corp Limited on behalf of the Applicant, Glovehorn Limited, was for a four allotment subdivision with associated land use consent for the relocation of two houses onto two proposed new allotments in the Residential 4A Zone at the rear of the site. The proposal would create two allotments in the Residential 2 Zone, one vacant and one around the existing dwelling on the site. The application did not propose to comply with density requirements of either the Residential 2 or Residential 4A zones. The associated land use consent to relocate two dwellings to the proposed Residential 4A zone allotments would also therefore not comply with Residential 4A density expectations.

Following a comprehensive Request for Further Information and meeting with Council Senior Planning staff, the Applicant has now (May 2023) revised the application to propose a three allotment residential subdivision and land use which incorporates:

- the vesting of corner rounding (8m² of legal road) on the corner of Main Street and Cheapside Street in the north-western corner of the site (proposed Lot 5)
- one allotment in the Residential 4A zone with an area of 1152m² (proposed Lot 3)
- two allotments in the Residential 2 Zone with areas of 577m² and 625m² (proposed Lots 1 and 2 respectively)
- Proposed Lots 1 and 3 will not meet the minimum net areas for the Residential 2 (minimum 600m²) or Residential 4A zones (minimum 2500m²).
- The two relocated dwellings are now proposed in the Residential 2 and Residential 4A Zones (on proposed Lots 1 & 3)
- Individual access is proposed to be provided to Lots 1 – 3 from Cheapside Street only and no Right of Ways (shared access) is proposed.
- Services to be provided to water and wastewater reticulation in Cheapside Street, with additional stormwater to be disposed to ground via soakpits.
- Easements in Gross in favour of Council are proposed along the eastern boundary of the site.
- The existing shed and garage on the site are proposed to be removed.

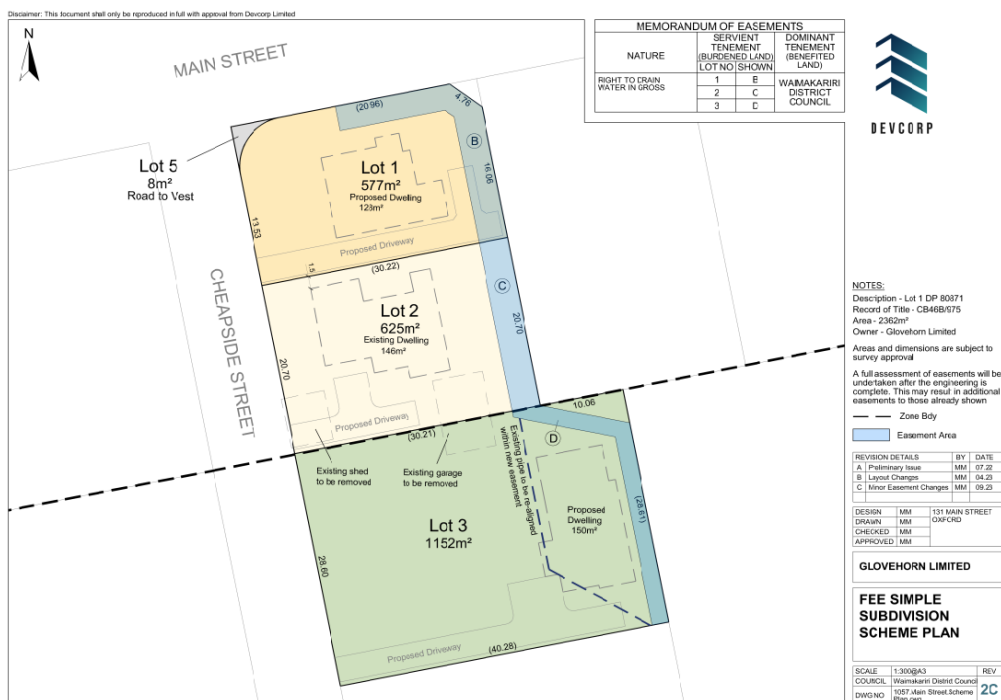


Diagram 1: Proposed Application Plan

EXISTING ENVIRONMENT/ BACKGROUND INFORMATION

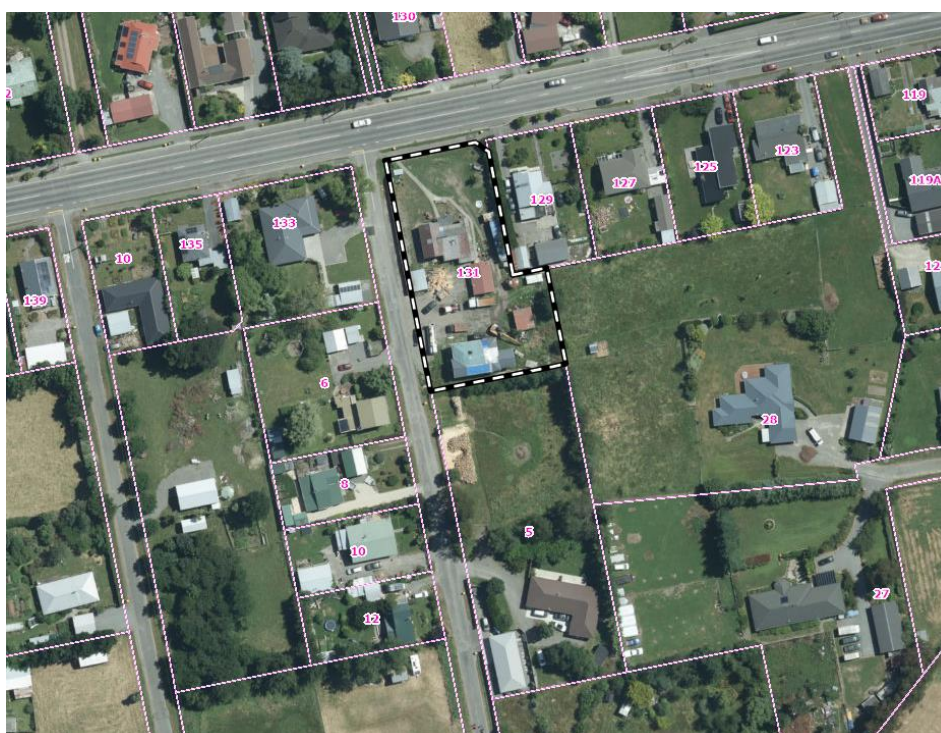


Diagram 2: Site location (source WDC EPlan).

The site is located in Oxford at 131 Main Street (Lot 1 DP 80871; Record of Title CB46B/975), on the corner of Main Street (to the north) and Cheapside Street (to the west). The site is generally rectangular in shape, as shown in Diagram 2 above, with a total area of 2,362m². The front half of the site is Residential 2 zone, with the rear of the site zoned as Residential 4A zone, as shown below in Diagram 3.

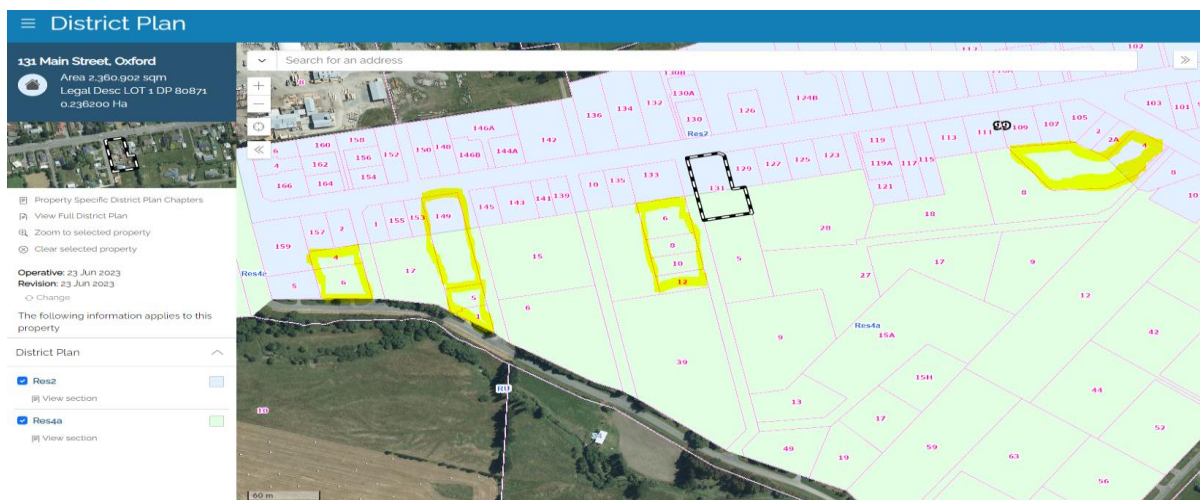


Diagram 3: Operative District Plan zones (Source WDC EPlan)

Main Street is classified as a Strategic Road and Cheapside Street is classified as a Local Road. There is an existing dwelling in the centre of the site, with various outbuildings to the rear of the section. The southern part of the section is a grassed paddock. The primary vehicle access to the existing dwelling is from Cheapside Street, as shown in Diagrams 5 and 6 below.



Diagram 4: Google Street View: Main Street Oxford

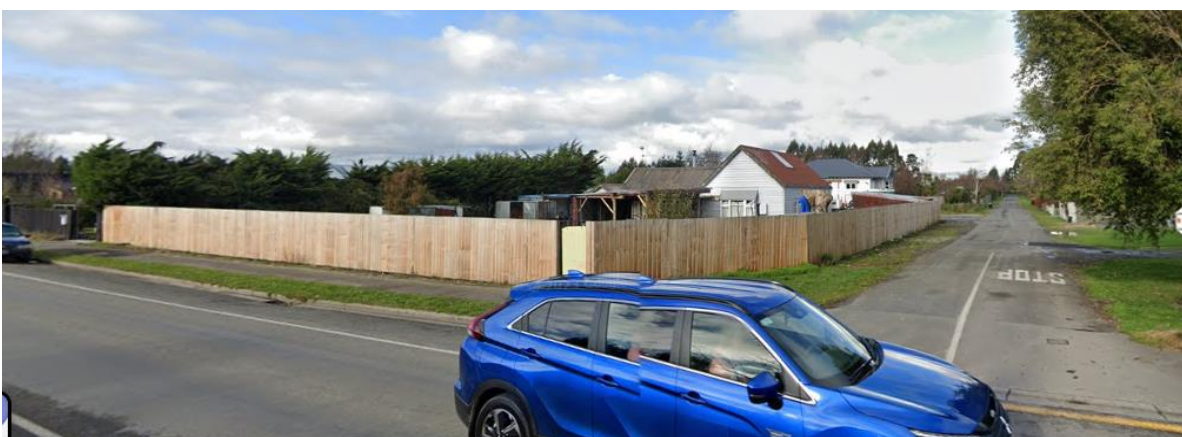


Diagram 5: Google Street View: Cheapside Street and site to the left



Diagram 6: Cheapside Street existing vehicle entrance

Cheapside Street does not have kerb and channel, nor a formed vehicle entrance crossing to the site.

As can be seen from Google street view (Diagram 4 and 5 – dated June 2023), the site is fenced along the Main Street and Cheapside Street boundaries. Site photos were provided as Appendix 3 of the consent application, however these images are now out of date.

The site is serviced for reticulated water and wastewater services maintained and operated by Council from Cheapside Street. Stormwater is currently disposed to ground on the site.

The application identifies the site is located within the 1 in 200 year flood zone with a 500mm (0.5m) ponding depth on the site, as recorded in Council's GIS system.

DECISION

The Delegated Officer, on the 31st of October 2023, approved:

Subdivision – RC225255

THAT pursuant to Section 104D of the Resource Management Act 1991, consent be granted to undertake:

- A three lot subdivision involving one residential complying lot in the Residential 2 Zone (Lot 2) and two undersized residential allotments in the Residential 2 zone (Lot 1) and the Residential 4A zone (Lot 3), including the vesting of road for the purpose of corner rounding (Lot 5);
- Soil remediation on Lot 3 as part of the subdivision;
- The construction of a non-compliant vehicle crossing for Lot 1;

at 131 Main Road Oxford being a subdivision of Lot 1 DP 80871 as a **Non-Complying activity** subject to the following conditions which are imposed under Sections 108 and 220 of the Act:

1. Application Plan

- 1.1 The activity shall be carried out in accordance with the attached approved application plans stamped RC225255/RC225256.

2. Standards

2.1 All stages of design and construction shall be in accordance with the following standards (and their latest amendments) where applicable:

- Waimakariri District Council Engineering Code of Practice
- Waimakariri District Council Stormwater Drainage and Watercourse Protection Bylaw (2018)
- Erosion & Sediment Control Toolbox for Canterbury
- NZS 4404:2010 Land Development and Subdivision Infrastructure
- NZS 4431:2022 Engineered Fill Construction for Lightweight Structures
- NZTA Traffic Control Devices Manual
- New Zealand Transport Agency standards
- Relevant Austroads Guides & Standards
- NZS 6803:1999 Acoustics for Construction Noise
- German DIN 4150 Standard, Part 3 (1999), Effects of Vibration on Structures
- New Zealand Drinking Water Standards 2005 (Revised 2018)
- AS/NZS 2845.1:2010 Water Supply: Backflow Prevention Devices: Materials, Design and Performance requirements
- New Zealand Industry Standard: Field Testing of backflow prevention devices and verification of air gaps
- New Zealand Pipe Inspections Manual (4th Edition)

3. Easements

3.1 All services, including open drains, water races and access ways, serving more than one lot or traversing lots other than those being served and not situated within a public road or proposed public road, shall be protected by easements. All such easements shall be granted and reserved.

3.2 The stormwater drain on the north and east side of the property shall be located and wholly contained within the easements created, and the pipe will be re-aligned as required at the consent holder's expense. The pipe size shall be confirmed before the re-alignment.

4. Supervision and Setting Out

4.1 The Consent Holder shall, prior to the commencement of any works, engage a Chartered Professional Engineer or Registered Professional Surveyor to manage the construction works, including ensuring a suitably qualified and experienced person oversees all engineering works and setting out. Lot numbers shall be clearly marked on site.

4.2 The Consent Holder shall ensure the supervising Engineer/Surveyor supplies to Council a construction review certificate signed by a Chartered Professional Engineer or Registered Professional Surveyor, stating that all works and services associated with the subdivision have been installed in accordance with the approved engineering plans and specifications. The "As Built" plans shall be stamped as a true and accurate record of all works and services as constructed. The construction review certificate

and stamped As Built plans shall be supplied to subdivapp@wmk.govt.nz prior to requesting the Section 224(c) Conditions Certificate.

5. Earthworks

- 5.1 Any areas of fill or earthworks shall be certified in accordance with NZS 4431.
- 5.2 The Consent Holder shall ensure earthworks involving reshaping or filling do not create ponding of stormwater on any adjacent land in separate ownership and that surface runoff is not altered, impeded or increased at the site boundary.
- 5.3 The earthworks shall not block, alter, or redirect existing or natural overland flow paths, and shall not block or redirect drains, unless approved by the WDC Development Manager.
- 5.4 The Consent Holder shall maintain a register of the source of all clean fill materials imported onto the site. The Consent Holder shall provide the register to Council at subdivapp@wmk.govt.nz, if requested.
- 5.5 The Consent Holder shall ensure stockpiles remaining for a period of time exceeding 2 months shall be no greater than 3 metres high, shaped and grassed suitable for mowing.
- 5.6 During all earthworks the Consent Holder shall employ dust containment measures, such as watering, to avoid off site nuisance effects created by dust.
- 5.7 All rubbish, organic or other unsuitable material shall be removed off site to an approved disposal facility where this material can be legally disposed.

6. Construction Hours and Noise

- 6.1 The Consent Holder shall ensure all construction operations shall be limited to 7 am to 6 pm Monday to Saturday. No construction work shall take place on Sundays or Public Holidays.
- 6.2 Construction noise shall not exceed the recommended limits specified in, and shall be measured and assessed in accordance with, the provisions of NZS: 6803: P1999 "Measurement and Assessment of Noise from Construction, Maintenance, and Demolition Work". Adjustments and exemptions provided in clause 6 of NZS: 6803: P1999 shall apply.

7. Environmental Management

- 7.1 Prior to any works commencing on site the Consent Holder shall provide an Environmental Management Plan (EMP) to the Council at subdivapp@wmk.govt.nz for approval. The EMP shall detail:
 - a) the methodology of works and the environmental controls in place to limit effects from issues involving flooding, dust, noise and other pollutants;
 - b) an Erosion and Sediment Control Plan (ESCP) setting out the measures to be taken to control silt contaminated stormwater at all times during earthworks, accessways development and installation of services;
- 7.2 The Consent Holder shall comply with the EMP, including the ESCP, at all times.
- 7.3 The Consent Holder shall be responsible for installing and maintaining any sediment

control devices, protection of the existing land drainage and waterways and making regular inspections, repairs and changes to the proposed measures as required by the EMP.

- 7.4 Any required amendments to the EMP as a result of adverse site conditions shall be submitted in writing to Council at subdivapp@wmk.govt.nz.

8. Water Supply

- 8.1 The Consent Holder shall provide a reticulated domestic water supply to lot 1 and 3 from the Oxford urban water supply.
- 8.2 The Consent Holder shall apply to Council's Water Asset Manager for approval to connect to the Council's existing water reticulation. The approval shall be given before works commence on Council's reticulation.
- 8.3 The Consent Holder shall install the reticulation to meet the following minimum standards for Lot(s) 1 and 3:
- a) Separate 15mm diameter laterals from the submain (in Main St for lot 1 and in Cheapside St for lot 3) to the toby box.
 - b) Toby boxes and valves installed at the road frontage.
 - c) Individual 15mm laterals from the toby box to a point a minimum of 1m within the lots.
- 8.4 As a network utility provider, the Council at the consent holder's expense shall carry out all connections to the existing public water supply.

9. Stormwater

- 9.1 The Consent Holder shall design and provide the primary stormwater management to accommodate a 10% A.E.P (1 in 10-year) storm derived from rainfall figures for the site location from NIWAs HIRDS Version 4 with RCP 8.5, 2081 - 2100 climate change scenario.
- 9.2 The stormwater runoff from the roofs of structures on Lots 1 and 3 shall discharge to an individual soak pit on each lot designed and constructed to infiltrate roof water generated by a 10 minute 10% AEP event with a Factor of Safety of 3 applied to the site soils infiltration rate. The Consent Holder shall demonstrate that a suitable design for individual soak pits is achievable along with confirmation of soakage rates at the time of Engineering Acceptance. If soakage is not feasible, then an alternative solution shall be provided for Engineering Acceptance.
- 9.3 The Consent Holder shall provide for secondary flow paths with a design capacity to accommodate flows from a 2% AEP event from the subdivision to the stormwater drain on the north and east side of the development. The design of the overall stormwater system shall include consideration of secondary flow paths for events greater than the 2% AEP event.

10. Wastewater

- 10.1 Consent Holder shall install a reticulated sewer system to service Lot 1 by connecting into the 200mm main in Main Street.
- 10.2 Consent Holder shall install a reticulated sewer system to service Lot 3 by connecting

into the 150mm main in Cheapside Street.

- 10.3 The reticulated sewer system design shall incorporate the following minimum requirements:
- a) Domestic sewer laterals to a point a minimum of 1m inside the main body of all units.
- 10.4 The Consent Holder shall apply to Council's Wastewater Asset Manager for approval to connect to the Council's existing sewer reticulation. The approval shall be given before works commence on Council's reticulation.
- 10.5 Connections to the existing Council reticulation shall be carried out by a Council approved contractor at the expense of the Consent Holder following application to the Council.

11. Power and Telephone

- 11.1 The Consent Holder shall engage a utility network operator to provide underground electrical and telephone reticulation to the main body of proposed Units 1 and 3.
- 11.2 The Consent Holder shall provide to Council at subdivapp@wmk.govt.nz evidence in writing from a utility network operator that electrical and telephone reticulation has been installed to Units 1 and 3 and that all costs have been met.

12. Vehicle Crossing

- 12.1 The vehicle crossing to Lot 1 shall be located 18.5m from the intersection of Cheapside Street and High Street and shall be formed and sealed to accord with Waimakariri District Council Standard Drawing 600-211B (Issue A).
- 12.2 The Consent Holder shall upgrade and seal the access servicing Lot 2, to accord with the Waimakariri District Council Engineering Code of Practice Standard Drawing 600-211B (Issue A).
- 12.3 The Consent Holder shall Clegg Hammer test the access/all accesses prior to sealing. A measured Clegg Impact Value of at least 25 for footpaths and residential crossings shall be obtained to assure adequate compaction and pavement strength prior to sealing. Documentation shall be supplied to Council confirming the test results obtained.
- 12.4 The Consent Holder shall ensure on-site manoeuvring is available for Lot 1 - 3 to enable a vehicle to come out forwards from the accessway.
- 12.5 The Consent Holder shall remove the existing hedge on the property boundary along Cheapside St to comply with sight lines requirement as per Operative District Plan Rule 30.6.1.21.
- 12.6 The corner splay shall be rounded to a minimum 6m radius and Lot 5 shall be vested in the Waimakariri District Council.

13. Finished Floor Level

- 13.1 The Consent Holder shall ensure that the minimum floor level on any dwellinghouses erected on Lots 1 and 3 should be set no lower than 500 mm above the modelled 1 in 200-year (0.5% AEP) Flood Depth at any point intersecting the building footprint.

13.2 Condition 13.1 as applies to Lot 1 and 3 shall be subject to a consent notice, pursuant to section 221 of the Resource Management Act 1991 and shall register on the certificate of title for Lot 1 and 3.

13.3 The consent holder shall ensure piles foundation are used for the dwellings on Lot 1 and 3.

13.4 Condition 13.3 as applies to Lot 1 and 3 shall be subject to a consent notice, pursuant to section 221 of the Resource Management Act 1991 and shall register on the certificate of title for Lot 1 and 3.

14. Geotechnical

14.1 The Consent Holder shall engage a suitably qualified Chartered Professional Engineer (CPEng) with experience in residential development to design specific foundations for any new dwelling. The report shall reference and consider the conclusions of the Geotechnical Consultants Report issued 18 April 2023, saved to TRIM 230615088259.

14.2 Condition 14.1 shall be subject to a Consent Notice pursuant to Section 221 of the Resource Management Act 1991, to register on the Records of Title for Lots 1 to 3.

15. Urbanisation

15.1 The consent holder shall urbanise the Cheapside Street Road frontage of Lots 1 and 2 to include the following features:

- a) Widening of the existing carriageway to 5.5m sealed width.
- b) A 1.5m gritted footpath.
- c) Add street trees.

The design shall be provided at the engineering acceptance stage.

16. As Built Records

16.1 'As Built' plans setting out in detail the location of all services shall be provided to the Council at subdivapp@wmk.govt.nz immediately following the completion of the works.

16.2 An electronic set of 'As Built' plans shall be provided to Council at subdivapp@wmk.govt.nz at a scale of 1:500 and 1:1000. In addition to the plans, a Chartered Professional Engineer, Registered Professional Surveyor (or Licensed Cadastral Surveyor) shall provide a separate certification statement stating that the 'As Built' plans are a true and accurate record of all services.

16.3 Where 'As Built' plans have been prepared using computer aided draughting techniques a copy of the file shall be made available to the Council in either of the following formats – Microstation (.DGN), Autocad (.DWG) or (.DXF).

16.4 The Consent Holder shall provide to Council at subdivapp@wmk.govt.nz an asset register for all assets to be vested in Council, including pipes, valves, fittings, manholes, structures and the like. The asset register shall include construction costs.

16.5 Copies of all test results, Producer Statements, certifications, inspections, Sharefile or USB of CCTVs shall be provided to the Council's satisfaction. Accurate 'As Built' plans

including long sections setting out in detail the location of all utilities and services shall be provided to the Council at subdivapp@wmk.govt.nz immediately following completion of the works and shall be available at the time of the 224(c) Condition Certificate inspection.

17. Conditions Auditing

- 17.1 The Council, on an actual cost basis, shall audit compliance with the conditions of consent by both site inspections and checking of associated documentation to ensure the work is completed in accordance with the approved plans and specifications and to the Council's standards. The Council will undertake inspections and checking.
- 17.2 For audit inspections required by the consent, the Consent Holder shall notify the Council Development Team at least 24 hours prior to commencing various stages of the works, preferably by email to subdivaudit@wmk.govt.nz including subdivision and contractor/agent contact details or by phone on 0800 965 468.

Earthworks

- On completion to final levels.

Vehicle Crossing

- Following shaping of roading and footpath sub-grade prior to placement of sub base material;
- Following metalling up, prior to pouring of kerb and any channel;
- Following compaction of base course prior to sealing. The carriageway shall be tested with a Benkelman Beam and the footpath with a Clegg Hammer. The results shall be submitted to Council for approval.

Sewer

- During installation;
- Testing of sewer mains and laterals.

Water

- During installation;
- Testing of submain and laterals;
- Sterilisation of water submain.

Stormwater

- During installation;
- On completion.

Whole works

- Prior to issue of a certificate under Section 224(c) of the Resource Management Act.
- 17.3 Compliance with the above conditions shall be verified by inspection by a Council Officer pursuant to section 35(2)(d) of the Resource Management Act 1991. For inspection/s conducted under the above condition, the Consent Holder shall pay to the Council charges pursuant to section 36(1)(c) of the Resource Management Act 1991 to enable the Council to recover its actual and reasonable costs in carrying out the inspections.

18. Works Condition

- 18.1 Conditions 1 to 17 of this consent will not be considered to have been complied with

until the Chartered Professional Engineer provides a "Certificate of Completion" to the satisfaction of the Waimakariri District Council.

19. Other

- 19.1 Any existing buildings or structures located over the new boundaries between Lots 2 and 3 and over the Lot 2 road boundary shall be removed prior to an application being made for s.224(c) certification.

20. Contaminated Materials

- 20.1 The areas of elevated lead in the burn pad/waste disposal area within Lot 3 shall be remediated to comply with the residential soil contaminant standards.
- 20.2 The Consent Holder shall prepare a Remedial Action Plan (RAP) for the site remediation of contaminated topsoil on Lot 3. The Remedial Action Plan shall be in accordance with the requirements of the NESCS and shall be prepared by a suitably qualified and experienced professional and submitted in writing to the Resource Consents Team Leader, for review and approval by Council, prior any work including remediation work starting on site.
- 20.3 The Remedial Action Plan shall include a site management plan that identifies the areas of soil contamination and the areas of operation to carry out the remedial earthworks, health and safety measures such as vehicle, plant and staff decontamination, proposed temporary stock piles, erosion and sediment control and dust control measures and any other measures to ensure the safety of the staff working on the site, the public and the environment.
- 20.4 The Consent Holder shall provide evidence to the Resource Consents Team Leader in the form of weight dockets confirming the volume of any contaminated fill taken off-site for disposal.
- 20.5 The Consent Holder shall prepare and submit to the Resource Consents Team Leader a post-earthworks report (a Site Validation Report) in accordance with the requirements of the NESCS to be prepared and approved by a suitably qualified and experience professional confirming that all earthworks in and around the contaminated material have been carried out in accordance with the RAP. This shall be supplied prior to, or with the application for a Section 224 Certificate to confirm works are complete.

21. Inspection

- 21.1 Compliance with the above condition may be verified by inspection by a Council Officer Pursuant to Section 35(2)(d) of the Resource Management Act 1991.
- 21.2 Should an inspection be necessary, the Consent Holder shall pay to the Council charges pursuant to Section(1)(c) of the Resource Management Act 1991 to enable the Council to recover its actual and reasonable costs in carrying out the inspections.

ADVICE NOTES

Consent under the Resource Management Act 1991

- This activity has been granted resource consent under the Resource Management Act 1991. It is not a consent under any other Act, Regulation or Bylaw. The activity must comply with all relevant council bylaws, the Building Act 2004 and any other relevant laws and regulations. If you require other approvals, such as a building consent or vehicle crossing permit, please visit Council's website for application

forms.

Traffic Management

- The Consent Holder is advised that Traffic Management Plan forms can be sourced from Council Service Centres or on-line at: <https://www.waimakariri.govt.nz/home>.
- No excavation shall commence within a public road reserve without the prior receipt and approval of a Corridor Access Request (CAR).

Environment Canterbury

- This activity may require resource consent from Environment Canterbury. Please ensure that consent is obtained from them prior to the commencement of the activity.
- The Erosion & Sediment control Toolbox for Canterbury can be found on the ECan website <http://esccanterbury.co.nz/>

Inspections for a subdivision consent

- For audit inspections required by the consent, the Consent Holder should notify the Council's Development Team at least 24 hours prior to commencing various stages of the works preferably by email to subdivaudit@wmk.govt.nz including subdivision and contractor/agent contact details or by phone on 0800 965 468.
- The Consent Holder is advised that requirements and conditions listed are a statement of the Council's minimum standards. Where the Consent Holder proposes higher standards or more acceptable alternatives these shall be submitted to the Council in writing for approval.

Development Contributions

- The Consent Holder is advised that development contributions apply to this subdivision and these will be levied in accordance with the Council's Development Contributions Policy. Development Contributions will be advised in a letter separate to the resource consent decision. Payment of development contributions is required prior to the completion of the 224(c) process, under section 208 of the Local Government Act 2002.

Lapse Period (Subdivision Consents)

Under Section 125 of the Resource Management Act 1991, this subdivision will lapse five years after the date it is granted unless:

- i. A survey plan is submitted to Council for approval under section 223 of the Resource Management Act 1991, before the consent lapses, then that plan must be deposited within three years of the approval date in accordance with section 224 of the Resource Management Act; or
- ii. An application under section 125 of the Resource Management Act 1991 is made to the Council before the consent lapses (five years) and approval for the time extension has been granted.

Other

- Please note that it is your contractor's responsibility to locate all underground services. No services are to be moved without the written permission of the service provider.
- When locating services from service plans, your contractor will need to dig for and confirm the exact location of the service. When excavating in the vicinity of any services, your contractor will be held responsible for any damage.
- A vehicle crossing constructed without Council inspections will be deemed as an illegal entrance.
- You are reminded that stamped concrete, coloured concrete, cobbles, and paving blocks are not permitted.

- The Consent Holder is advised that Producer Statement Design and Construction forms can be sourced from the 'Engineering Code of Practice Part 3 Quality Assurance', Council Service Centres, Section or on-line at: <https://www.waimakariri.govt.nz/home>.

Land Use – RC225256

THAT pursuant to Section 104D of the Resource Management Act 1991, land use consent be granted to:

- Relocate a dwelling on an undersized allotment in the Residential 2 zone (Proposed Lot 1) and on an undersized allotment in the Residential 4A zone (Proposed Lot 3);
- Remediate contaminated site soils under the NESCS and;
- Install a vehicle crossing to Lot 1 not meeting the separation requirement to an intersection at 131 Main Road Oxford;

On Lot 1 DP 80871 as a **Non-Complying Activity** subject to the following conditions which are imposed under Section 108 of the Act:

1. Application Plan

- 1.1 The activity shall be carried out in accordance with the attached approved application plans stamped RC225255/RC225256.

2. Contaminated Materials

- 2.1 The areas of elevated lead in the burn pad/waste disposal area within Lot 3 shall be remediated to comply with the residential soil contaminant standards prior to the occupation of any dwelling on site.
- 2.2 The Consent Holder shall prepare a Remedial Action Plan (RAP) for the site remediation of contaminated topsoil on Lot 3. The Remedial Action Plan shall be in accordance with the requirements of the NESCS and shall be prepared by a Suitably Qualified and Experienced Professional and submitted in writing to the Resource Consents Team Leader, for review and approval by Council, prior any work including remediation work starting on site.
- 2.3 The Remedial Action Plan shall include a site management plan that identifies the areas of soil contamination and the areas of operation to carry out the remedial earthworks, health and safety measures such as vehicle, plant and staff decontamination, proposed temporary stock piles, erosion and sediment control and dust control measures and any other measures to ensure the safety of the staff working on the site, the public and the environment.
- 2.4 The Consent Holder shall provide to the Resource Consents Team Leader evidence in the form of weight dockets confirming the volume of any contaminated fill taken off-site for disposal.
- 2.5 The Consent Holder shall prepare and submit to the Resource Consents Team Leader a post-earthworks report (a Site Validation Report) in accordance with the requirements of the NESCS to be prepared and approved by a Suitably Qualified and Experienced Professional confirming that all earthworks in and around the contaminated material have been carried out in accordance with the RAP. This shall be supplied prior to, or with, the application for a Section 224 Certificate or Building

consent, whichever occurs first in relation to Lot 3, to confirm that site validation works are complete.

3. Vehicle Crossing

- 3.1 The vehicle crossing to Lot 1 shall be located 18.5m from the intersection of Cheapside Street and High Street and shall be formed and sealed to accord with Waimakariri District Council Standard Drawing 600-211B (Issue A).
- 3.2 The Consent Holder shall Clegg Hammer test the access prior to sealing. A measured Clegg Impact Value of at least 25 for footpaths and residential crossings shall be obtained to assure adequate compaction and pavement strength prior to sealing. Documentation shall be supplied to Council confirming the test results obtained.

4. Construction Hours and Noise

- 4.1 The Consent Holder shall ensure all construction operations shall be limited to 7 am to 6 pm Monday to Saturday. No construction work shall take place on Sundays or Public Holidays.
- 4.2 Construction noise shall not exceed the recommended limits specified in, and shall be measured and assessed in accordance with, the provisions of NZS: 6803: P1999 "Measurement and Assessment of Noise from Construction, Maintenance, and Demolition Work". Adjustments and exemptions provided in clause 6 of NZS: 6803: P1999 shall apply.

5. Environmental Management

- 5.1 Prior to any remedial works commencing on site the Consent Holder shall provide an Environmental Management Plan (EMP) to the Council at subdivapp@wmk.govt.nz for approval. The EMP shall detail:
- a) the methodology of works and the environmental controls in place to limit effects from issues involving flooding, dust, noise and other pollutants; and
 - b) an Erosion and Sediment Control Plan (ESCP) setting out the measures to be taken to control silt contaminated stormwater at all times during earthworks, accessways development and installation of services.
- 5.2 The Consent Holder shall comply with the EMP, including the ESCP, at all times.
- 5.3 The Consent Holder shall be responsible for installing and maintaining any sediment control devices, protection of the existing land drainage and waterways and making regular inspections, repairs and changes to the proposed measures as required by the EMP.
- 5.4 Any required amendments to the EMP as a result of adverse site conditions shall be submitted in writing to Council at subdivapp@wmk.govt.nz.

6. Conditions Auditing

- 6.1 The Council, on an actual cost basis, shall audit compliance with the conditions of consent by both site inspections and checking of associated documentation to ensure the work is completed in accordance with the approved plans and specifications and to the Council's standards. The Council will undertake inspections and checking.
- 6.2 For audit inspections required by the consent, the Consent Holder shall notify the

Council Development Team at least 24 hours prior to commencing various stages of the works, preferably by email to subdivaudit@wmk.govt.nz including subdivision and contractor/agent contact details or by phone on 0800 965 468.

Vehicle Crossing

- Following shaping of vehicle crossing prior to placement of subbase material;
- Following metalling up, prior to any pouring of kerb and any channel;
- Following compaction of base course prior to sealing. The carriageway shall be tested with a Benkelman Beam and the footpath with a Clegg Hammer. The results shall be submitted to Council for approval.

7. Inspection

- 7.1 Compliance with the above condition may be verified by inspection by a Council Officer Pursuant to Section 35(2)(d) of the Resource Management Act 1991.
- 7.2 Should an inspection be necessary, the Consent Holder shall pay to the Council charges pursuant to Section(1)(c) of the Resource Management Act 1991 to enable the Council to recover its actual and reasonable costs in carrying out the inspections.

ADVICE NOTES

Consent under the Resource Management Act 1991

- This activity has been granted resource consent under the Resource Management Act 1991. It is not a consent under any other Act, Regulation or Bylaw. The activity must comply with all relevant council bylaws, the Building Act 2004 and any other relevant laws and regulations. If you require other approvals, such as a building consent or vehicle crossing permit, please visit Council's website for application forms.

Traffic Management

- The Consent Holder is advised that Traffic Management Plan forms can be sourced from Council Service Centres or on-line at: <https://www.waimakariri.govt.nz/home>.
- No excavation shall commence within a public road reserve without the prior receipt and approval of a Corridor Access Request (CAR).

Engineering

- The Erosion & Sediment control Toolbox for Canterbury can be found on the ECan website link <http://esccanterbury.co.nz/>

Monitoring & Inspections for a land use consent

- Please contact the Council's Compliance and Monitoring Team at compliance@wmk.govt.nz to alert the Council when work or project is beginning. Monitoring may be undertaken to ensure the activity is complying with the information supplied in the application; and
- Additional monitoring fees may be charged on a time and cost basis if required. This includes any non-compliance with the condition/s of the resource consent and the Council need to re-visit the site.
- Where the conditions of this consent require any reports or information to be submitted to the Council, please forward these documents to the Council's Compliance and Monitoring Team at compliance@wmk.govt.nz

Lapse Period (Land Use Consents)

- Pursuant to Section 125 of the Resource Management Act 1991, if this resource consent is not given effect to within five years after the date of the decision for this consent, then this resource consent shall lapse unless a longer period has been approved by the Council under section 125 of the Act.

REASONS FOR DECISION

Pursuant to Section 113 of the RMA, the following factors were considered in determining the application:

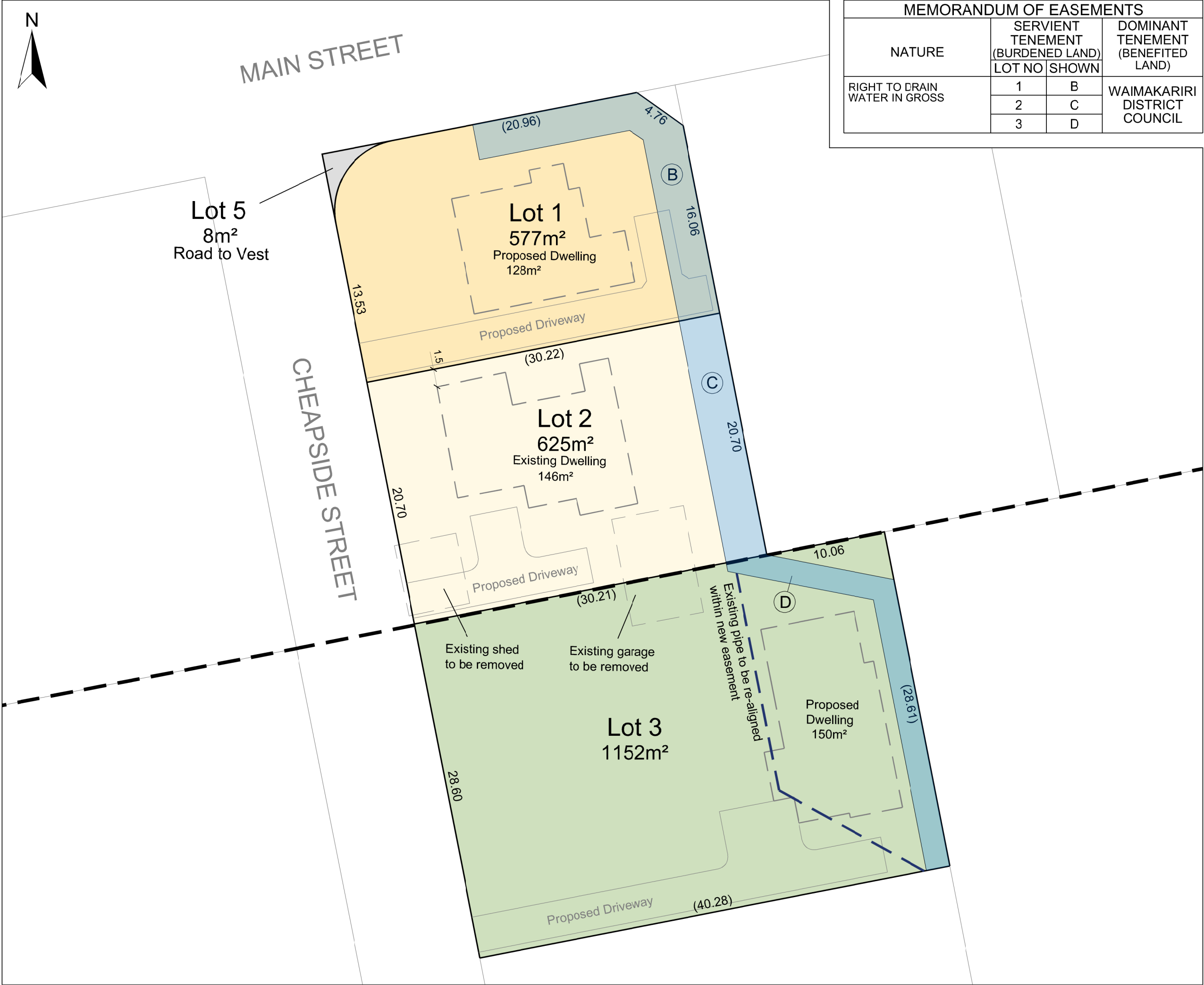
- Draft conditions have been agreed with the applicant that will mitigate potential effects of the proposal.
- Overall, the environmental effects will be less than minor as follows:
- Geotechnical effects have been mitigated with the imposition of a consent notice that requires specific foundation design for proposed housing on proposed new allotments.
- Adverse traffic effects of the proposed access location for Lot 1 and its dwelling have been mitigated by conditions of both subdivision and land use that requires the access to be located as far from the intersection with Main Road as possible. In addition, roadside hedging in the site is to be removed prior to subdivision completion in conjunction with the vesting of Lot 5 (corner rounding), that will provide sight lines and safer vehicle egress at the Cheapside Street / Main Road intersection.
- Potential flooding effects are accounted for as a consent notice requiring minimum floor levels for proposed dwellings on the site in respect of Lots 1 and 3 has been included.
- Contaminated site soils will be remediated for the future safety and residential occupation of Lot 3 prior to the completion of the development.
- Rural Residential and Residential character and amenity associated with the dual zoning of the site is maintained as much as possible with the revision of the proposal for one allotment and dwelling in the 4A Zone (instead of two). The proposed dwelling on Lot 3 has been located in such a way to create usable open space at the front of the site, and to separate the proposed dwelling as far as possible from all adjoining houses. The proposal for Lot 3 avoids potentially adverse dominance effects on the street. The proposal to urbanise only the Lot 1 and 2 frontage also maintains the character and amenity in the context of the site setting for the wider area.
- The proposal is not able to be replicated by other sites in the area as its dual zoning (with a non-compliant balance area) is unique to this site only. It is considered the proposal will not lead to cumulative effects or the ability for other sites to replicate the proposal and detract from District Plan integrity.
- Given the above assessment, no person is deemed to be adversely affected by the proposal provided that the recommended conditions of consent are adopted. The Applicant has agreed to the recommended conditions of consent.

- The application is generally consistent with, and not contrary to, the objectives and policies of the Operative District Plan and Proposed District Plan.
- The proposal is considered to consistent with Part 2 of the RMA, noting that positive effects have also been considered and provided for.

DATED at Rangiora this 31st Day of October 2023



SIGNED by Claire McKeever
CONSULTANT PLANNER



| MEMORANDUM OF EASEMENTS | | | |
|-------------------------------|-----------------------------------|-------|------------------------------------|
| NATURE | SERVIENT TENEMENT (BURDENED LAND) | | DOMINANT TENEMENT (BENEFITED LAND) |
| | LOT NO | SHOWN | |
| RIGHT TO DRAIN WATER IN GROSS | 1 | B | WAIMAKARIRI DISTRICT COUNCIL |
| | 2 | C | |
| | 3 | D | |



DEVCORP

WAIMAKARIRI DISTRICT COUNCIL
- APPROVED APPLICATION -
RC225255&RC225256
APPROVED by Authorised Officer
Ian Carstens 31/10/2023

NOTES:
Description - Lot 1 DP 80871
Record of Title - CB46B/975
Area - 2362m²
Owner - Glovehorn Limited

Areas and dimensions are subject to survey approval

A full assessment of easements will be undertaken after the engineering is complete. This may result in additional easements to those already shown

— Zone Bdy
Easement Area

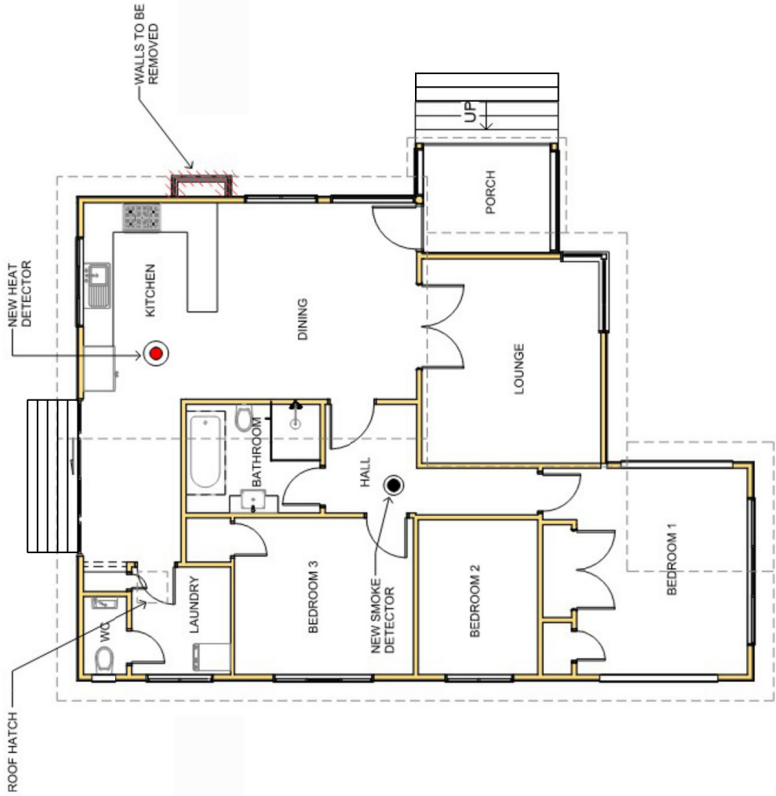
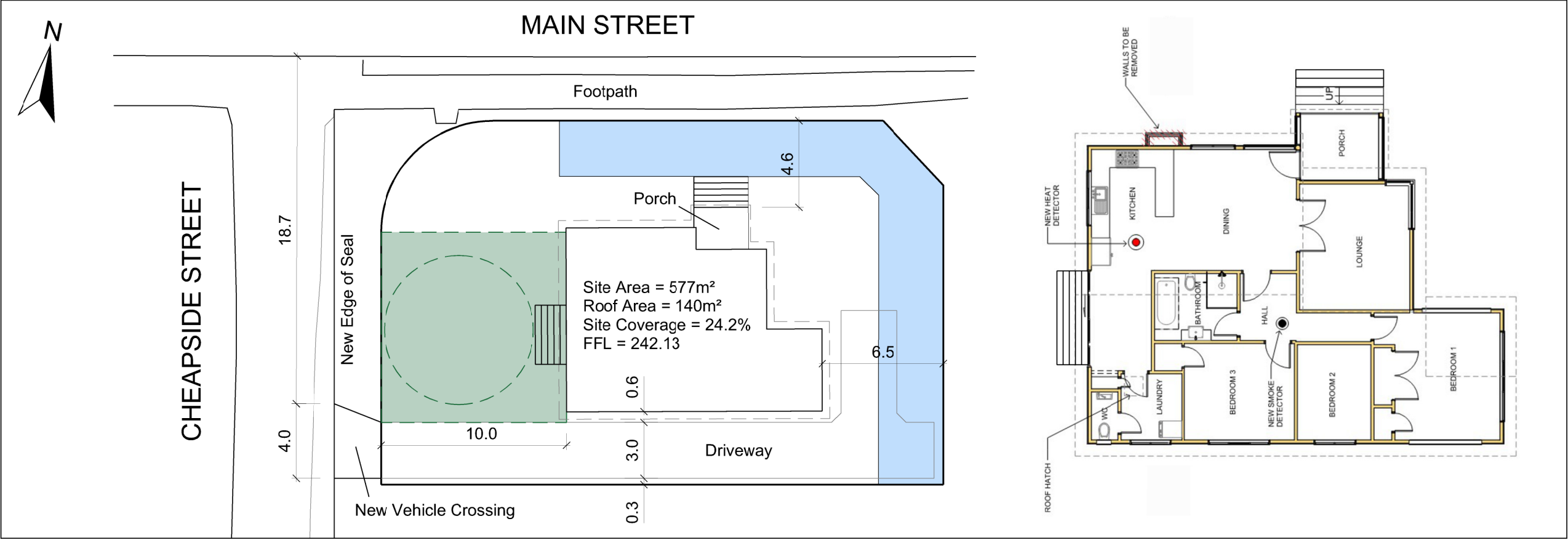
| REVISION DETAILS | | BY | DATE |
|------------------|------------------------|----|-------|
| A | Preliminary Issue | MM | 07.22 |
| B | Layout Changes | MM | 04.23 |
| C | Minor Easement Changes | MM | 09.23 |

| | | |
|----------|----|---------------------------|
| DESIGN | MM | 131 MAIN STREET OXFORD |
| DRAWN | MM | |
| CHECKED | MM | |
| APPROVED | MM | |

GLOVEHORN LIMITED

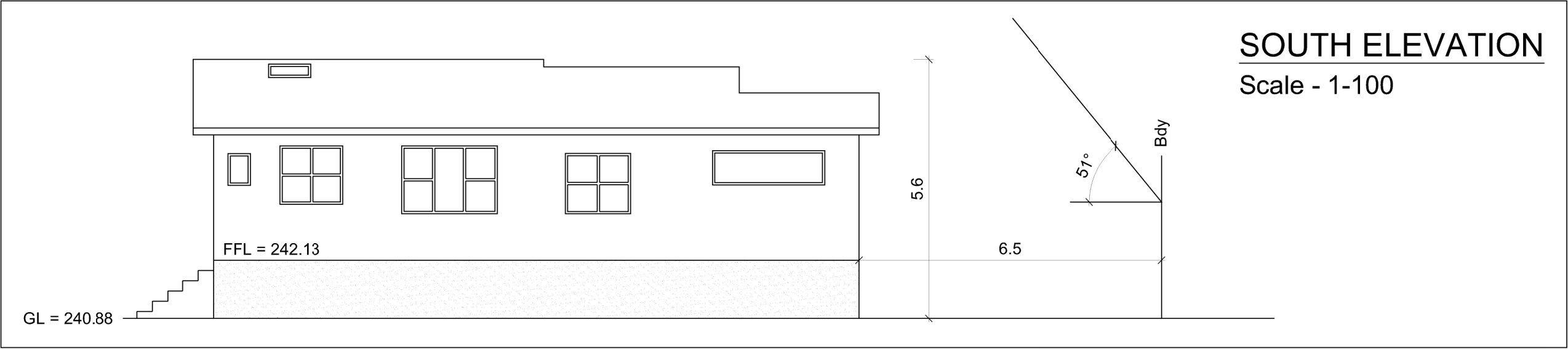
FEE SIMPLE
SUBDIVISION
SCHEME PLAN

| | | |
|---------|----------------------------------|-----|
| SCALE | 1:300@A3 | REV |
| COUNCIL | Waimakariri District Council | 2C |
| DWG NO | 1057.Main Street.Scheme Plan.dwg | |



DEVCORP

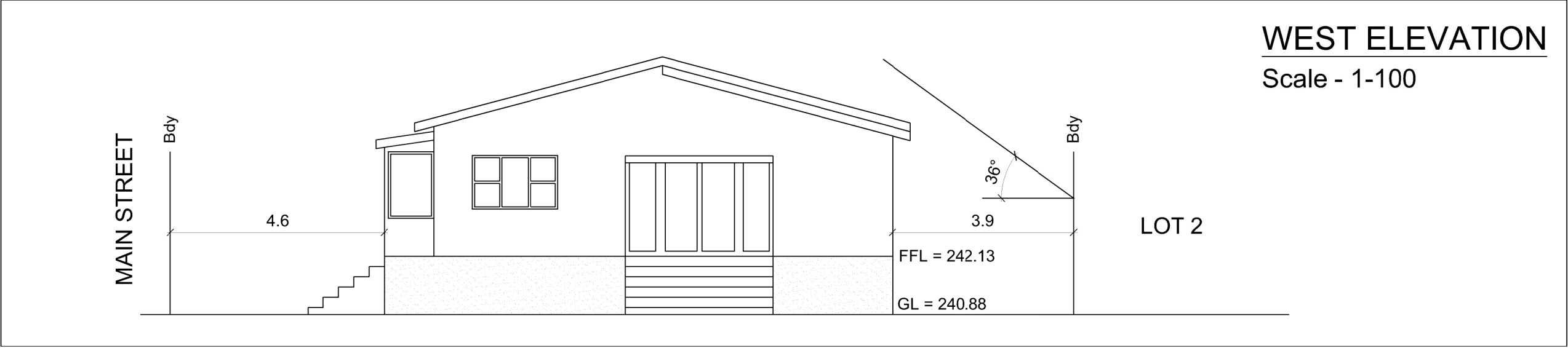
WAIMAKARIRI DISTRICT COUNCIL
- APPROVED APPLICATION -
RC225255&RC225256
APPROVED by Authorised Officer
Ian Carstens 31/10/2023



Easement Area

ODLS = 100m² with
8m diameter circle
(PDP - GRZ-BFS9)

| REVISION DETAILS | | BY | DATE |
|------------------|-------------------|----|-------|
| A | Preliminary Issue | MM | 06.23 |
| B | Minor Updates | MM | 06.23 |
| C | General Updates | MM | 09.23 |
| | | | |



| | | |
|----------|----|---------------------------|
| DESIGN | MM | 131 MAIN STREET OXFORD |
| DRAWN | MM | |
| CHECKED | MM | |
| APPROVED | MM | |

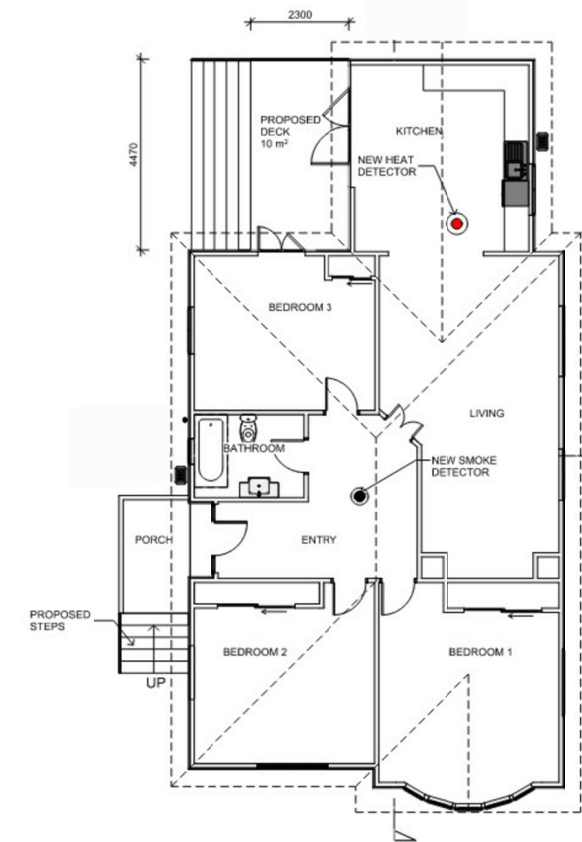
GLOVEHORN LIMITED

LOT 1
SITE PLAN +
ELEVATIONS

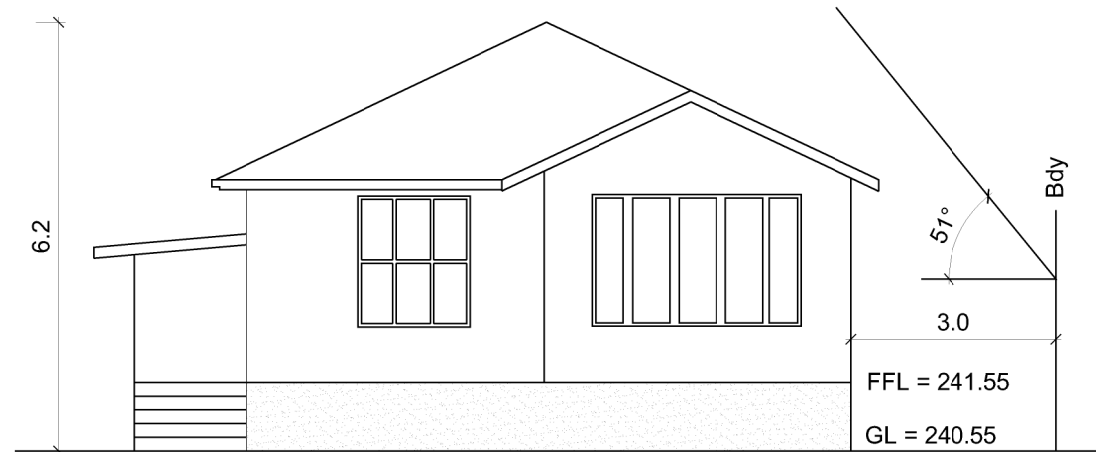
| | | |
|---------|----------------------------------|-----|
| SCALE | 1:250@A3 | REV |
| COUNCIL | Waimakariri District Council | 3C |
| DWG NO | 1057.Main Street.Scheme Plan.dwg | |




**WAIMAKARIRI DISTRICT COUNCIL
- APPROVED APPLICATION -
RC225255&RC225256
APPROVED by Authorised Officer
Ian Carstens 31/10/2023**



Scale - 1-100



 Easement Area

ODLS = 100m² with
8m diameter circle
(PDP - GRZ-BFS9)

| REVISION DETAILS | | BY | DATE |
|------------------|-------------------|----|-------|
| A | Preliminary Issue | MM | 06.23 |
| B | Minor Updates | MM | 06.23 |
| C | Minor Updates | MM | 09.23 |
| | | | |

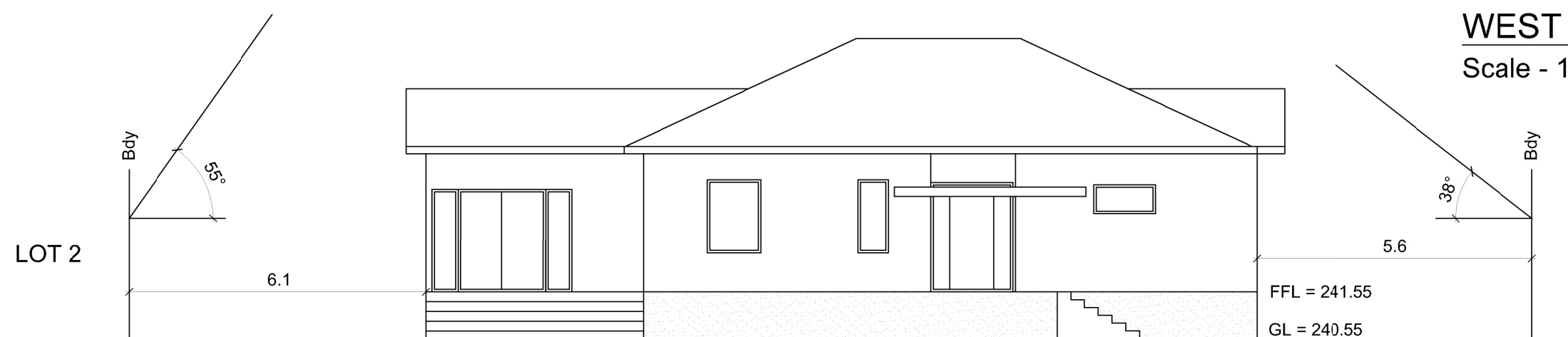
| | | |
|----------|----|---------------------------|
| DESIGN | MM | 131 MAIN STREET OXFORD |
| DRAWN | MM | |
| CHECKED | MM | |
| APPROVED | MM | |

GLOVEHORN LIMITED

LOT 3 SITE PLAN + ELEVATIONS

| | | |
|---------|----------------------------------|-----|
| SCALE | 1:250@A3 | REV |
| COUNCIL | Waimakariri District Council | 4C |
| DWG NO | 1057.Main Street.Scheme Plan.dwg | |

Scale - 1-100





DEVCORP

WAIMAKARIRI DISTRICT COUNCIL
- APPROVED APPLICATION -
RC225255&RC225256
APPROVED by Authorised Officer
Ian Carstens 31/10/2023

- NOTES**
1. All works in the legal road to be in accordance with local authority ECoP.
 2. All works in private property to be in accordance with NZBC.
 3. Service locations are indicative only. It is the contractors responsibility to locate all services prior to works commencing.
 4. Wastewater laterals to be 100Ø uPVC SN16 at 1:60 grade.
 5. Soak pit to be Type (A) as per Figure 13 NZBC E1/VM1. Soak pits to be sized for 2% AEP critical duration event.
 6. Soak pit to be Type (A) as per Figure 13 NZBC E1/VM1. Soak pits to be sized for 2% AEP critical duration event.

| REVISION DETAILS | | BY | DATE |
|------------------|---------------------|----|-------|
| A | Preliminary Issue | MM | 06.23 |
| B | Urbanisation Change | MM | 10.23 |
| | | | |

| | | |
|----------|----|---------------------------|
| DESIGN | MM | 131 MAIN STREET OXFORD |
| DRAWN | MM | |
| CHECKED | MM | |
| APPROVED | MM | |

GLOVEHORN LIMITED

**PRELIMINARY
ENGINEERING PLAN**

| | | |
|---------|----------------------------------|-----------|
| SCALE | 1:300@A3 | REV |
| COUNCIL | Waimakariri District Council | E2 |
| DWG NO | 1057.Main Street.Scheme Plan.dwg | |

**Appendix G. 351 Bradleys Road, Ohoka - RC225357 Decision
Letter and Approved Plans**

Our Reference: RC225357/230524076019
Valuation Reference: 2174025600

24 May 2023

Davis Ogilvie
PO Box 589
CHRISTCHURCH 8140

Dear Damienne

**DECISION ON RESOURCE CONSENT APPLICATION
GRACE ELIZABETH MAY CAMERON - 351 BRADLEYS ROAD OHOKA**

Please find enclosed a copy of the decision reached by the Plan Implementation Manager under delegated authority from the Council on the above application.

We also enclose information relating to rights of appeal, lapsing of consent (where applicable), and other legal requirements.

Yours faithfully

Lizzie Thomson

Lizzie Thomson
CONSULTANT PLANNER

Encl

CC: grace.e.m.cameron@hotmail.com

WAIMAKARIRI DISTRICT COUNCIL

IN THE MATTER of the Resource Management Act 1991

AND

IN THE MATTER of an application lodged by **Grace Elizabeth May Cameron** for a resource consent under Section 88 of the aforementioned Act.

APPLICATION

The applicant seeks to construct a single storey 269.74m² residential dwelling at 351 Bradleys Road, Ohoka. The proposed dwelling has four bedrooms with an attached triple garage.

The application states that stormwater will be discharged to an on-site soak pit and to Council requirements. Water supply will be provided from the Ohoka reticulated water supply (confirmed by Council Engineer). The new dwelling will be provided with new power and telecommunication connections from Mainpower and Enable.

The previous dwelling on the site utilized an on-site septic tank for the disposal of sewage. The application states that in August 2016, Council confirmed that the new dwelling on the site would have potential to connect to the existing Ohoka sewer scheme. Council Engineers have confirmed that the new dwelling can connect to the sewer scheme.

Access to the new residential dwelling will be via the existing vehicle crossing accessed from Bradleys Road.

The proposed footprint of the dwelling, in relation to the site, is shown in Figure 1 below.

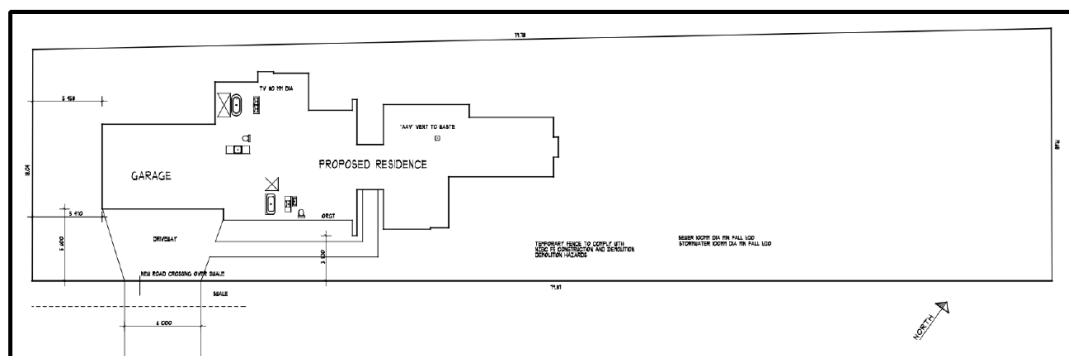


Figure 1: Site Plan

The applicant provided an amended application, incorporating matters raised in a Section 92 request for further information.

Section 2 of this report outlines the existing environment and background information for the site, which includes an existing use certificate for the demolished residential dwelling that the proposed dwelling is replacement of. The applicant has provided a Table that summaries the proposed dwelling in relation to the existing use certificate and the District Plan standards:

| Table 1: Comparison of EUR and Proposed Dwelling | | | | |
|--|------------------------|---------------------------------|---------------|--|
| Parameter | EUR | Proposed | District Plan | Comment |
| Floor Area | 162m ² | 269.74 m ² | No rule | Exceedance of 107m ² |
| Height | 4.7m (Pitched roof) | 4.8 m | No rule | Exceedance of 100mm |
| SW boundary setback | 0.8m | 5.458 – 5.470 m | 20m | Does not exceed EUR but exceeds District Plan rule |
| NW boundary setback | 0.5m | 2.1 m | 20m | Does not exceed EUR but exceeds District Plan rule |
| SE boundary setback | 4.2m | 3.52 m - 8.1 m (stepped design) | 20m | Exceeds EUR and exceeds District Plan rule |
| NE boundary setback | 65.7m | 38.6 m | 20m | Exceeds EUR but less than District Plan |
| Site coverage | 10.77 | 17.93 % | 20% | Exceeds EUR but less than District Plan |

Appendix 8 of the application contains a Landscape Plan, with a more detailed Landscape Plan provided on 22 February 2023, which includes rationale to species selection and time and height at maturity.. The Landscape Plan seeks to retain the planting along the northeast and northwest boundaries and proposes new planting along the southwest and southeast boundaries, which adjoin Mill Road and Bradleys Road.

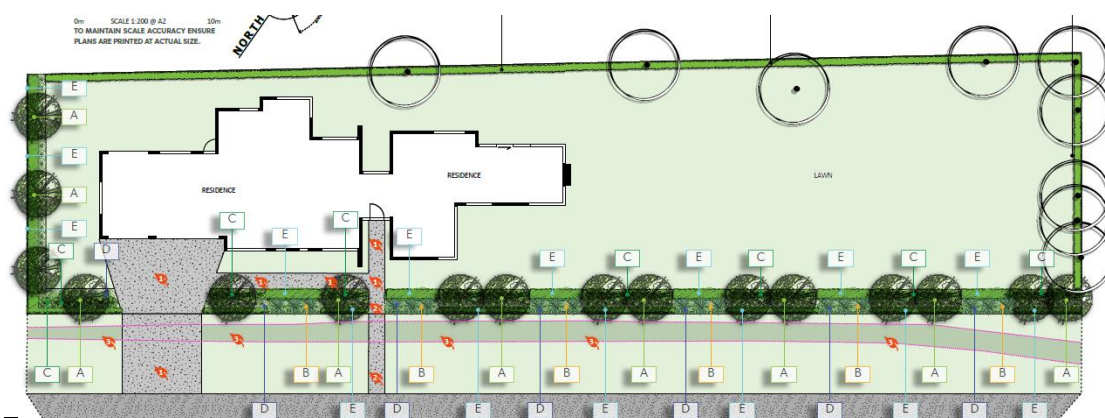


Figure 2: Proposed Landscape Plan

EXISTING ENVIRONMENT/ BACKGROUND INFORMATION

The application site is 351 Bradleys Road, Ohoka and is located approximately 10m north-east from the Mill Road – Bradleys Road intersection. The application describes the site and surrounding environment in section 2.0. I undertook a site visit on 30 November 2022 and I adopt the applicant's description for this report. The application identifies the characteristics of the Rural Zone as described in the Operative District Plan, as containing:

- a) the dominant effect of paddocks, trees, natural features, and agricultural, pastoral or horticultural activities;*
- b) separation between dwellinghouses to maintain privacy and a sense of openness;*
- c) a dwellinghouse clustered with ancillary buildings and structures on the same site;*
- d) farm buildings and structures close to lot boundaries including roads;*
- e) generally quiet – but with some significant intermittent and/or seasonal noise from farming activities;*
- f) clean air – but with some significant short term and/or seasonal smells associated with farming activities; and*
- g) limited signage in the Rural Zone.*

Figure 3 below shows the application site in the context of the District Plan zoning. The site is located opposite Residential 3 and 4b zones to the south and south-east.



Figure 3: District Plan Zoning (Figure 2 of application)

Section 6.2 of the application outlines the history of the application site. The original dwelling built in 1860 was part of a larger farm area of several hundred acres, but as of 1926 was then included in a ten-acre parcel. The present site was created by subdivision on 12 November 1957. The zoning under successive District Plans has continued to zone the site as Rural. The application states that the site has been used for residential purposes since at least 1957.

The application site has a width of 18.04m along the south-western boundary and tapers to 19.68m in width at the north-eastern boundary.

Through an online search of the property, I found that the previous dwelling was advertised as being a 3-bedroom home with an 80m² floor area, as shown in Figure 4 below.

| SPECIFICS | |
|--------------|-------------------------------|
| Address | 351 Bradleys Road, Ohoka 7692 |
| Price | Negotiable Over \$295,000 |
| Type | Residential - House |
| Bedrooms | 3 Bedrooms |
| Living Rooms | 2 Living Rooms |
| Bathrooms | 1 Bathroom, 1 Separate Toilet |
| Parking | 2 Tandem. |
| Floor Area | 80 m ² |
| Land Area | 1505 m ² |
| Listing ID | TRC20847 |

Figure 4: Summary of dwelling (Source: Total Reality)

The original dwelling has been demolished, established landscaping along the road boundary has been cleared and the site is currently vacant. Ohoka Stream is located along the north-eastern internal boundary and a Council swale runs along Bradleys Road, adjacent to the south-eastern boundary of the site. In section 1.2, the application states that the previous dwelling was 124m² with a 38m² garage. Council has issued an existing use certificate to establish a dwelling and garage on a rural lot (RC225168) which cites the building dimensions contained in the application. The existing use certificate has been renewed, with an extension granted under RC225299, and will lapse on 7 October 2023. As such, I have assessed the application on this basis.

The existing use certificate decision states that the new dwelling and garage will be constructed with the same or similar character, intensity and scale to those which existed prior to October 2021, when the previous dwelling and shed were demolished. I note that while the existing use certificate specifies parameters to which a dwelling could be designed (i.e. height, floor area), there is no mention about either the retention of landscaping (now removed) or a requirement to provide landscaping.

DECISION

The Plan Implementation Manager, on the 24th May 2023, approved:

Land Use – RC225357

THAT pursuant to Section 104(B) of the Resource Management Act 1991, consent be granted for the construction of a residential dwelling on an under-size rural lot at 351 Bradleys Road, Okoka being Lot 2 DP 19391, as a non-complying activity subject to the following conditions which are imposed under Section 108 of the Act:

1. Application Plan

1.1 The activity shall be carried out in accordance with the attached approved application plans stamped RC225357, except as amended by the conditions below.

2. Standards

2.1. All design and construction works shall be in accordance with the following standards, guidance documents, and codes of practice, and their latest amendments where applicable:

- Waimakariri District Council Engineering Code of Practice
- Waimakariri District Council Stormwater Drainage and Watercourse Protection Bylaw (2018)
- Erosion & Sediment Control Toolbox For Canterbury
- NZS 4404:2010 Land Development and Subdivision Infrastructure
- NZS 4431:2022: Engineered fill construction for lightweight structures
- National Code of Practice for Utility Operator's Access to Transport Corridors (10 September 2015 with amendment 16 September 2016)
- MOTSAM - Manual of Traffic Signs and Markings
- New Zealand Transport Agency standards
- Relevant Austroads Guides & Standards
- NZS 6803:1999 Acoustics for Construction Noise
- New Zealand Drinking Water Standards 2005 (Revised 2018)
- New Zealand Pipe Inspections Manual
- AS/NZS 2845.1:2010 Water Supply: Backflow Prevention Devices: Materials, Design and Performance requirements.
- New Zealand Industry Standard: Field Testing of backflow prevention devices and verification of air gaps.

- SNZ PAS 4509:2008 New Zealand Fire Service Fire Fighting Water Supplies Code of Practice
- NZECP 34:2001 New Zealand Electricity Code of Practice for Electricity Safe Distances.

3. Earthworks

- 3.1. Prior to any works commencing on site the Consent Holder shall provide an Environmental Management Plan (EMP) to the Council for approval. The EMP shall detail the methodology of works and the environmental controls in place to limit effects from issues involving flooding, dust, noise and other pollutants.
- 3.2. During the earthworks, the Consent Holder shall employ dust containment measures, such as watering, to avoid off site nuisance effects created by dust.
- 3.3. The Consent Holder shall ensure all construction operations shall be limited to 7 am to 6 pm Monday to Saturday. No construction work shall take place on Sundays or Public Holidays.
- 3.4. Construction noise shall not exceed the recommended limits specified in, and shall be measured and assessed in accordance with, the provisions of NZS: 6803: P1999 "Measurement and Assessment of Noise from Construction, Maintenance, and Demolition Work". Adjustments and exemptions provided in clause 6 of NZS: 6803: P1999 shall apply.
- 3.5. The Consent Holder shall ensure any temporary stockpiles are located at least 10 metres away from any existing dwellings and that they shall be no greater than 4 metres in height. Temporary stockpiles shall be subject to effective erosion and sediment control measures at all times.
- 3.6. The earthworks and any temporary stockpiles must not block, alter or redirect existing or natural overland flow paths, and shall not block or redirect any stormwater swale, drain, or watercourse.
- 3.7. The Consent Holder shall maintain a register of the source of all clean fill materials imported onto the site. The Consent Holder shall provide the register to Council if requested.
- 3.8. Any areas of fill that are to support the new building shall be placed and compacted in compliance with the requirements of NZS4431:2022 and recorded appropriately on the 'As Built' plans.
- 3.9. Any areas of filled ground that do not satisfy the requirements of NZS4431:2022 shall, together with sufficient dimensions to locate the feature from property boundaries, be shown on the 'As Built' plans.
- 3.10. The Consent Holder shall provide a Producer Statement from a Chartered Professional Engineer confirming that the compacted earthfill that is to support the new dwelling complies with the requirements of NZS4431:2022 and is suitable for supporting residential foundations.

- 3.11. All rubbish, demolition debris, organic or other unsuitable material from the former building, and any other unsuitable material that may be encountered during site excavations, shall be removed off site to an approved disposal facility where this material can be legally disposed.

4. Flood Hazard – Finished Floor Level

- 4.1. As part of the dwelling is to be constructed within an area of medium flood hazard, the Consent Holder shall ensure the minimum floor level of the new dwellinghouse identified on the stamped approved plan RC225357 will be at least 500mm above the 0.5% AEP (1 in 200 year flood event), and no lower than 24.00m RL in terms to the Lyttelton Vertical Datum 1937 (January 2018).

5. New Vehicle Crossing to Dwelling

- 5.1. Prior to occupation of the dwelling, the Consent Holder shall form a sealed rural vehicle crossing in accordance with the requirements of Waimakariri District Council's Engineering Code of Practice Standard Drawing 600-217 Issue D. A culvert shall be installed under the vehicle crossing to allow for drainage of the roadside swale.
- 5.2. Prior to occupation of the dwelling, the Consent Holder shall Clegg Hammer test the access prior to sealing. A measured Clegg Impact Value of at least 25 for the rural vehicle crossing shall be obtained to verify an adequate standard of compaction and pavement strength has been achieved prior to sealing. Documentation shall be supplied to Council confirming the test results obtained.
- 5.3. The vehicle crossing is to be located at the location shown on the stamped approved plans RC225357 (with the southwest edge of the driveway at least 7m northeast of the south corner of Lot 2 DP 19391).
- 5.4. Prior to the occupation of the dwelling, the Consent Holder shall ensure that any disturbance to the existing roadside swale along the northwest side of Bradleys Rd is immediately reinstated to a standard to match existing (i.e. a dense sward of grass cover).
- 5.5. Prior to occupation of the dwelling, the Consent Holder shall decommission the existing access to the property that is located around 40m northeast of the south corner boundary of Lot 2 DP 19391. This shall be achieved by removal of any gravel, replacement with lightly compacted topsoil, and regrassing to achieve a dense sward of grass.

6. Onsite manoeuvring

- 6.1. Prior to occupation of the dwelling, on-site manoeuvring shall be provided for an 85th percentile car, to ensure that no vehicle needs to reverse onto Bradleys Road. The manoeuvring space shall not require removal of any of the landscaping shown on the approved plans.

7. Landscape Screening

- 7.1. The Consent Holder shall landscape the development in accordance with the approved plans stamped RC225357.
- 7.2. The proposed landscaping shall be established on site within the first planting season (extending from 1 April to 30 September) following the final, passed building inspection.
- 7.3. All landscaping required for this consent shall be maintained. Any dead, diseased, or damaged landscaping shall be replaced by the consent holder within the following planting season (extending from 1 April to 30 September) with trees/shrubs of similar species to the existing landscaping.

8. Water Supply

- 8.1. Prior to the occupation of the dwelling the Consent Holder shall apply to the Waimakariri District Council to provide a new connection to Council's Ohoka Reticulated Water Supply to service the new dwelling. The connection shall meet the following minimum standards:
 - A 15mm internal diameter lateral from the main to the toby box;
 - A toby box, restrictor and valve installed at the road frontage as per Engineering Code of Practice Standard Drawing SD600-414B;
 - A minimum 20mm internal diameter lateral from the toby box to the storage tank, which shall be located a minimum of 1m within the main body of the lot;
 - A supply of a minimum of 2.0m³/day of water, including pipework, restrictors, fittings and storage tanks with a minimum capacity of 4,500 litres;
 - Storage tanks shall be constructed in accordance with WDC Engineering Code of Practice Standard Drawing SD600-403A and shall ensure an air gap separation is achieved of at least twice the inlet pipe diameter between the inverts of the inlet pipe and the overflow pipe;
 - No connections to the laterals are permitted upstream of the tank.
- 8.2. As a network utility provider, the Council at the consent holder's expense shall carry out all connections to the existing public water supply.

9. Wastewater

- 9.1. Prior to the occupation of the dwelling the Consent Holder shall discharge wastewater by way of a new connection to the Ohoka Sewer Scheme.
- 9.2. Connections to the existing Council reticulation shall be carried out by a Council approved contractor at the expense of the Consent Holder following application to the Council.

- 9.3. Prior to the occupation of the dwelling the former septic tank and effluent disposal field shall be decommissioned and shall not be used. The excavated area shall be backfilled using clean soil.

10. Stormwater

- 10.1. The stormwater runoff from the roof of the new dwelling shall either discharge to on-site soak pits or an alternative on-site detention system that is designed and constructed to infiltrate/detain all roof stormwater generated by a 10 minute 10% AEP event. If on-site soak pits are proposed, the site soil infiltration rate shall be confirmed through testing, and a Factor of Safety of 3 shall be applied to that rate. The Consent Holder shall demonstrate how the subsoil infiltration rate has been determined. A suitable stormwater design shall be supplied at the time of application for Building Consent.
- 10.2 Condition 10.1 of this consent will not be considered to have been complied with until the Chartered Professional Engineer provides a "Certificate of Completion" to the satisfaction of the Waimakariri District Council.

11. Condition Auditing

- 11.1. The Council, on an actual cost basis, shall audit compliance with the conditions of consent by both site inspections and checking of associated documentation to ensure the work is completed in accordance with the approved plans and specifications and to the Council's standards. The Council will undertake inspections and checking.
- 11.2. For audit inspections required by the consent, the Consent Holder shall notify the Council Development Team at least 24 hours prior to commencing various stages of the works, preferably by email to subdivaudit@wmk.govt.nz including subdivision and contractor/agent contact details or by phone on 0800 965 468. The minimum level of inspection is set out below.
- 11.3. The Consent Holder shall notify the Waimakariri District Council (rccompliance@wmk.govt.nz) 5 working days prior to the following works commencing:
- Earthworks
 - Excavation of the vehicle crossing to subgrade,
 - On installation of the water and sewer connections,
 - Prior to sealing the vehicle crossing, and
 - On completion of the physical works.

ADVICE NOTES

- a. The Consent Holder is advised that requirements and conditions listed are a statement of the Council's minimum standards. Where the Consent Holder proposes higher standards or more acceptable alternatives these shall be submitted to the Council in writing for approval.
- b. The Erosion & Sediment control Toolbox for Canterbury can be found on the ECan website link <http://esccanterbury.co.nz/>
- c. No excavation shall commence within a public road reserve without the prior receipt and approval of a Corridor Access Request (CAR).
- e. Prior to submitting an Application for Building Consent, the Consent Holder should ensure a site-specific geotechnical assessment and report is carried out by a suitably qualified Chartered Professional Engineer (CPEng) with experience in residential development. The results of the site investigation, along with recommendations for stormwater and foundation design and construction, shall be documented in the geotechnical report.

Consent under the Resource Management Act 1991

- This activity has been granted resource consent under the Resource Management Act 1991. It is not a consent under any other Act, Regulation or Bylaw. The activity must comply with all relevant council bylaws, the Building Act 2004 and any other relevant laws and regulations. If you require other approvals, such as a building consent or vehicle crossing permit, please visit Council's website for application forms.

Monitoring & Inspections for a land use consent

- Please contact the Council's Compliance and Monitoring Team at compliance@wmk.govt.nz to alert the Council when work or project is beginning. Monitoring may be undertaken to ensure the activity is complying with the information supplied in the application; and
- Additional monitoring fees may be charged on a time and cost basis if required. This includes any non-compliance with the condition/s of the resource consent and the Council need to re-visit the site.
- Where the conditions of this consent require any reports or information to be submitted to the Council, please forward these documents to the Council's Compliance and Monitoring Team at compliance@wmk.govt.nz

Major Electricity Distribution Setback Corridor

- Vegetation to be planted around the electricity distribution lines should be selected and managed to ensure that it will not breach the Electricity (Hazards from Trees) Regulations 2003.
- The NZECP 34:2001 New Zealand Electricity Code of Practice for Electricity Safe Distances contains restrictions on the location of activities and development in relation to electricity distribution lines. Activities and development in the vicinity of

these lines must comply with NZECP 34:2001 New Zealand Electricity Code of Practice for Electricity Safe Distances.

Lapse Period (Land Use Consents)

- Pursuant to Section 125 of the Resource Management Act 1991, if this resource consent is not given effect to within five years after the date of the decision for this consent, then this resource consent shall lapse unless a longer period has been approved by the Council under section 125 of the Act.

REASONS FOR DECISION

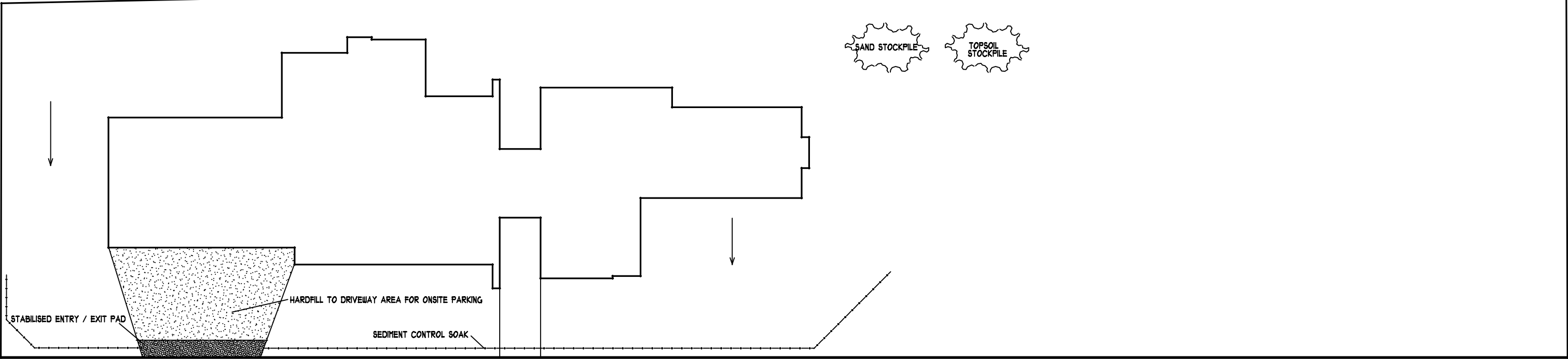
Pursuant to Section 113 of the Act the Council was satisfied that:

- Adverse effects will be adequately avoided, remedied or mitigated by the recommended consent conditions.
- The environmental effects will be minor and acceptable.
- The proposal was limited notified and should not have been publicly notified and no persons have submitted nor wished to be heard.
- Under Section 104(1)(c), I consider that the proposed activity is sufficiently unique primarily due to the Existing Use Certificate, to avoid precedent. All relevant matters have been considered and no irrelevant matters have been considered.
- While there is a strong tension with the objectives and policies of the operative Waimakariri District Plan, the proposal will have acceptable effects.
- The application passes both limbs of the required section 104D test.

DATED at Rangiora this 24th Day of May 2023

Lizzie Thomson

SIGNED by Lizzie Thomson
CONSULTANT PLANNER



SEDIMENT CONTROL PLAN 1:200

- EROSION AND SEDIMENT CONTROL:
LEGEND:
- SEDIMENT CONTROL SOAK
 - STABILISED ENTRY / EXIT PAD
 - OVERLAND FLOW PATH

DETAILS OF CONTROLLING SEDIMENT RUN-OFF FROM BUILDING SITE

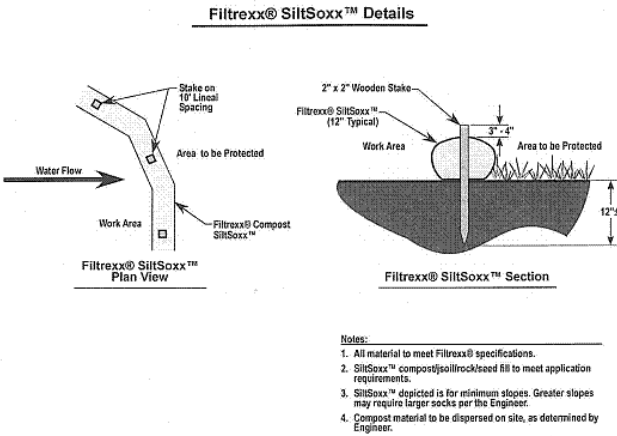
VEHICLE ACCESS WILL BE KEPT OFF SITE OR PAD PROVIDED.

EXCAVATED SOIL TO BE REMOVED SEE OWNER

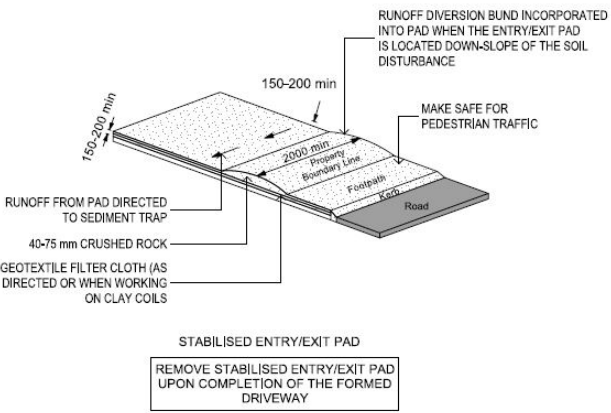
TEMPORARY DOWN PIPES TO BE INSTALLED ONCE ROOF IS ON

THE BUILDER IS RESPONSIBLE FOR CHECKING THAT SEDIMENT CONTROLS ARE PROPERLY MAINTAINED

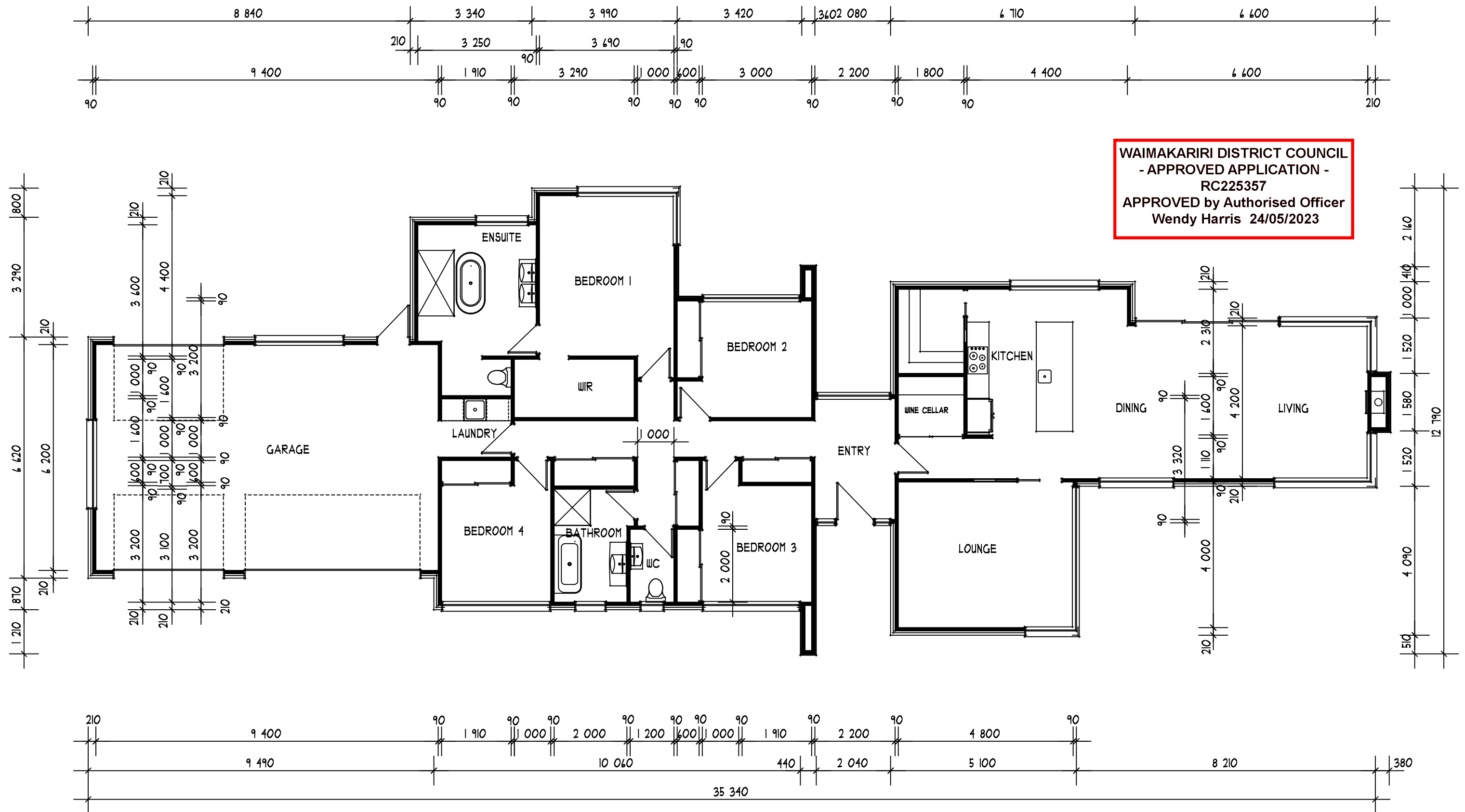
WAIMAKARIRI DISTRICT COUNCIL
- APPROVED APPLICATION -
RC225357
APPROVED by Authorised Officer
Wendy Harris 24/05/2023



1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS
4. STOCKPILES OF CLAY MATERIALS TO BE COVERED WITH IMPERVIOUS SHEET
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER SYSTEM AS SOON AS PRACTICAL AFTER ROOF IS LAID
6. NO BUILDING WORK WILL BE STARTED ON THIS PROJECT UNTIL THE CONSTRUCTION OF AN APPROVED STORMWATER OUTFALL HAS BEEN COMPLETED FOR THIS PROPOSED LOT



- MAINTAIN AND CAREFULLY DECOMMISSION CONTROL MEASURES AND STABILISE THE SITE
- THE SITE MANAGER (OWNER, BUILDER OR BUILDER'S REPRESENTATIVE) MUST CHECK THE OPERATION OF ALL EROSION, SEDIMENT AND WATER MANAGEMENT WORKS ON A DAILY BASIS AND INITIATE IMMEDIATE REPAIR, MAINTENANCE OR MODIFICATION AS REQUIRED.
- CONTROLS SHOULD BE CLEANED OUT IF THEY BECOME MORE THAN 20% FULL OF SEDIMENT, AND THIS SEDIMENT CAN BE RE-SPREAD OVER THE WORKS AREA
- REMOVE ALL ACCIDENTAL SPILLS OF SOIL OR OTHER MATERIALS ONTO THE ROAD OR GUTTER AT THE END OF EACH DAY'S WORK
- SWEEP MATERIALS FROM THE ROAD, NOT WASHING THEM DOWN THE NEAREST STORMWATER INLET
- HOLD SUBCONTRACTORS AND DELIVERY DRIVERS RESPONSIBLE FOR ANY DAMAGE CAUSED THROUGH THEIR ACTIONS OR NEGLIGENCE
- DECOMMISSION YOUR CONTROLS WITH CARE - THAT WAY YOU CAN SAVE MONEY BY REUSING MATERIALS LIKE SILT FENCING, WATATAHS AND STRAW BALES ON THE NEXT JOB
- REVEGETATE OR OTHERWISE STABILISE THE SITE.



DIXON DESIGN LTD.
704 HILLS ROAD
CHRISTCHURCH 8051
PH/FAX 03 386 2502
EMAIL dixondesign@xtra.co.nz

CAMERON RESIDENCE

351 BRADLEYS ROAD

OHOKA

SHEET:
2 OF

DRAWN:
DATE:
REF. NO.:

ALL PLANS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ENGINEER'S DETAILS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. WRITTEN DIMENSIONS ARE TO TAKE PRIORITY OVER SCALED DIMENSIONS

CONSTRUCTION KEY

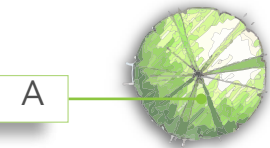
Heavy solid line indicates boundary line.

- 1 Proposed driveway and pedestrian path as per architect plan indicated. Materials to be confirmed in preliminary concept landscape plan.
- 2 Proposed path extension path. Path to cross over swale and connect with public road. Materials to be confirmed in preliminary concept landscape plan.
- 3 Magenta dotted line indicates swale position.

PROPOSED PLANTING SPECIES

SPECIMEN LARGE TREES: A
INDICATIVE NOT TO BE LIMITED TO

| Botanical Name | Common Name |
|----------------------|---------------------|
| Acer spp. | Canadian Maple |
| Carpinus fastigata | Upright Hornbeam |
| Hoheria angustifolia | Lacebark |
| Liquidamber Gumball | Topiary Liquidamber |
| Nothofagus spp. | Beech Tree |
| Pyrus spp. | Ornamental Pear |
| Sophora spp. | Kowhai |



SPECIMEN MEDIUM TREES: B
INDICATIVE NOT TO BE LIMITED TO

| Botanical Name | Common Name |
|--------------------------|------------------|
| Bambusa spp. | Bamboo |
| Plagianthus betulinus | Ribbonwood |
| Pseudopanax crassifolium | Lancewood |
| Pseudopanax ferrox | Savage Lancewood |
| Thuja 'smaragd' | Upright Conifer |



SPECIMEN MEDIUM TO LARGE SHRUB : C
INDICATIVE NOT TO BE LIMITED TO

| Botanical Name | Common Name |
|-----------------------------|--------------------|
| Agapanthus spp. | Dwarf Lily |
| Anemathele lessoniana | Wind Grass |
| Arthropodium spp. | Renga Renga Lily |
| Astelia spp. | Astelia |
| Blechnum spp. | Fern |
| Chinocloa spp. | Tussock |
| Dianella nigra | NZ Blueberry |
| Hebe spp. | New Zealand Lilac |
| Hydrangea spp. | Hydrangea |
| Ligularia reniformis | Tractor Seat Plant |
| Lomandra spp. | Ornamental Grass |
| Phormium spp. | Flax |
| Poa cita | Silver Tussock |
| Pseudowintera spp. | Pepper Tree |
| Leptocarpus similis | Oioi |
| Trachelospermum jasminoides | Star Jasmine |



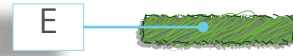
SPECIMEN LOW GROUNDCOVER : D
INDICATIVE NOT TO BE LIMITED TO

| Botanical Name | Common Name |
|-------------------------|------------------|
| Acaena purpurea | Purple Bidibidi |
| Blechnum spp. | Groundcover Fern |
| Leptinella Platts Black | Brass Buttons |
| Muehlenbeckia axillaris | Wire Vine |
| Ophiopogon spp. | Mondo Grass |
| Pimelia Antoki Blue | Pinatoro |
| Pratia angulata | Panakenake |



SPECIMEN HEDGING : E
INDICATIVE NOT TO BE LIMITED TO

| Botanical Name | Common Name |
|-----------------------------|-----------------|
| Carpinus betulinus | Hornbeam |
| Coprosma spp. | Coprosma |
| Corokia spp. | Corokia |
| Fagus sylvatica | Beech |
| Griselinia spp. | NZ Broadleaf |
| Muehlenbeckia astonii | Tororaro |
| Pittosporum spp. | Pittosporum |
| Podocarpus Matapouri Blue | Blue Podocarpus |
| Trachelospermum jasminoides | Star Jasmine |



CAMERON & WILSON RESIDENCE
351 BRADLEYS ROAD, OHOKA, RANGIORA

DRAWING TITLE:

CONSENT CONCEPTUAL LANDSCAPE PLAN

PROJECT: J0178
SIZE: A2
SCALE: 1:200

DATE: FEBRUARY 2023
DESIGNED: L.ROBERTSON.
DRAWN: T.U.
REVISION: PRV1

DISCLAIMERS: All measurements and levels must be confirmed by contractor on site prior to commencing works. Building code minimum clearance and fall requirements to take precedence over any existing levels.
This design must not be relied upon for any construction, engineering or other works without further expert consultation.
Aspects of the design may require consent by local authorities prior to construction. This is the responsibility of the owner to obtain.

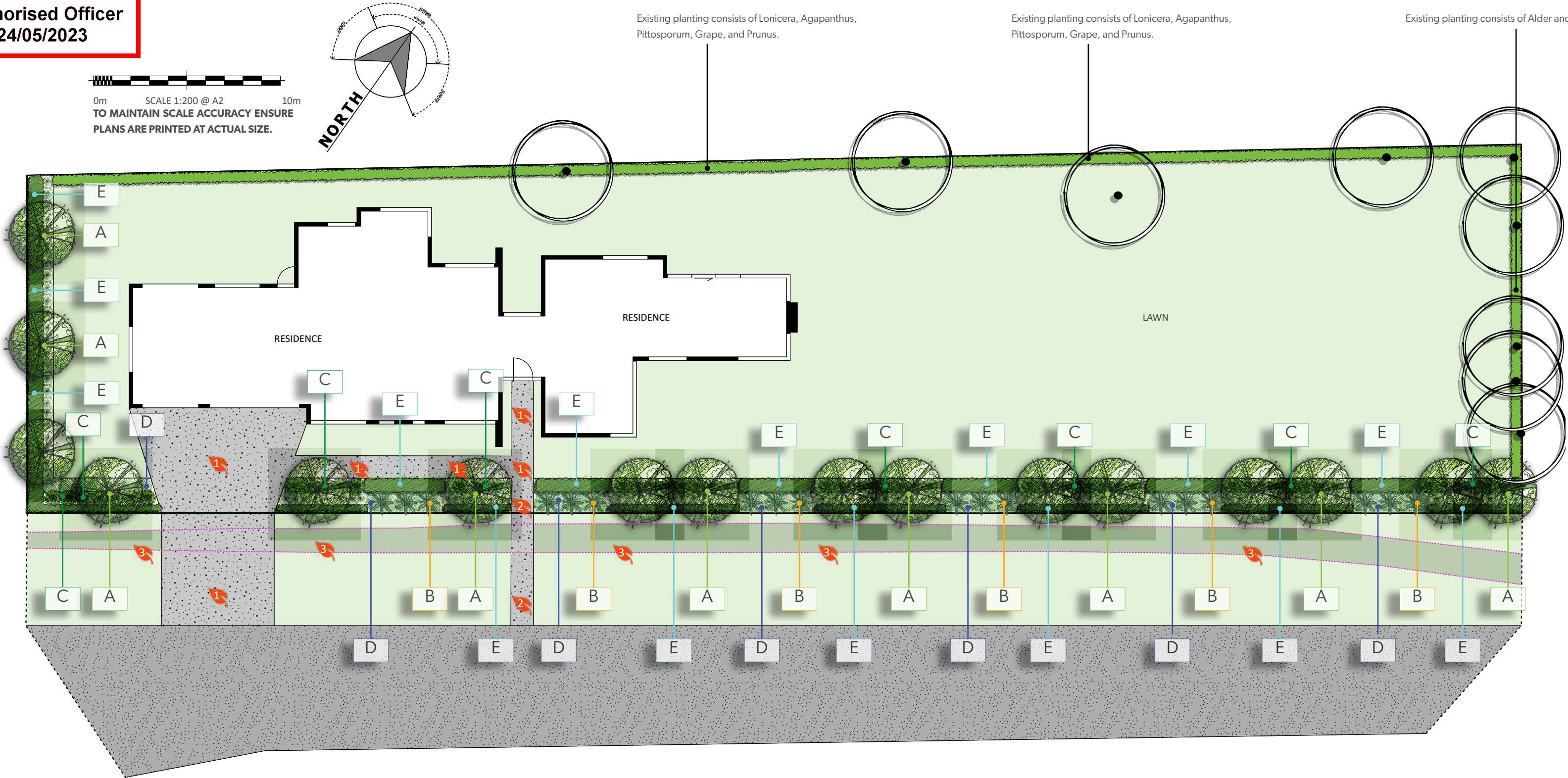
Epic Landscape Design is not a registered surveyor. Boundaries may require verification when verifying structure.
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SHEET

A.01

CONSENT CONCEPTUAL PLAN....

WAIMAKARIRI DISTRICT COUNCIL
- APPROVED APPLICATION -
RC225357
APPROVED by Authorised Officer
Wendy Harris 24/05/2023



STREET FRONT ELEVATION



Appendix H. Report Author's Qualifications and Experience

My full name is Rachel Sarah McClung. I have been employed by the Waimakariri District Council since June 2022 as a Principal Policy Planner within the Development Planning Unit.

I hold the following qualifications: Bachelor of Science from Canterbury University (2000) and a Master of Science in Resource Management (Honours) from Lincoln University (2002). I am a full member of the New Zealand Planning Institute (2010).

I have over 20 years' post-graduate experience working as a resource management planner in various positions for local government, consultancies and a non-government organisation in both New Zealand and the United Kingdom. My work experience includes, amongst other matters, processing resource consents, preparing resource consent applications, policy research and reporting for plan changes to district plans, for both councils and private clients.

My role as part of the District Plan Review Team includes preparation of s42A reports and supporting other team members. I was not involved in the preparation of the Proposed Plan and did not author any of the Section 32 Evaluation Reports or supporting documentation. I was not involved in summarising the submissions to the Proposed Plan. I was involved in Variation 1: Housing Intensification that responded to the direction for the RMA – EHS (Enabling Housing Supply). My involvement included contributions to the Overall s32 report and reviewing the summary of submissions.